

Regular Council Meeting Agenda

Date: Tuesday, July 12, 2022, 7:00 pm

Location: Electronic meeting live streamed at: <https://video.isilive.ca/tecumseh/live.html>.

Pages

- A. Roll Call**
- B. Order**
- C. Report Out of Closed Meeting**
- D. Moment of Silence**
- E. National Anthem**
- F. Land Acknowledgement**

We acknowledge that we are on land and surrounded by water, originally inhabited by Indigenous Peoples who have travelled this area since time immemorial. This territory is within the lands honoured by the Wampum Treaties; agreements between the Anishinaabe, Haudenosaunee, Leni Lenape and allied Nations to peacefully share and care for the resources around the Great Lakes. Specifically, we would like to acknowledge the presence of the Three Fires Confederacy Ojibwe, Odawa, Potawatomi and Huron/Wendat Peoples. We are dedicated to honouring Indigenous history and culture while remaining committed to moving forward respectfully with all First Nations, Inuit and Métis.

- G. Disclosure of Pecuniary Interest**
- H. Minutes**

- | | |
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| 1. Regular Council Meeting- June 28, 2022 | 4 - 22 |
| 2. Public Council Meeting - June 28, 2022 - Development Charges Study | 23 - 25 |
| 3. Public Council Meeting - June 28, 2022 - ZBA 205-227 Lesperance Road | 26 - 29 |

- I. Supplementary Agenda Adoption**
- J. Delegations**

1. Windsor Essex County Health Unit - Active School Travel Charter

Re: Kevin Morse, Health Promotion Specialist and Eric Nadalin, Director
Public Health Programs

View the presentation [here](#).

K. Communications - For Information

L. Communications - Action Required

M. Committee Minutes

- | | |
|--|---------|
| 1. Tecumseh Accessibility Advisory Committee - June 14, 2022 | 30 - 33 |
| 2. Police Services Board - June 9, 2022 | 34 - 39 |

N. Reports

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| 1. Community & Recreation Services | |
| a. CRS-2022-109 2023-2026 Arena and Pool Capital Works Plan | 40 - 50 |
| 2. Development Services | |
| a. DS-2022-25 Active School Travel Charter for Windsor-Essex
County - Windsor-Essex County Health Unit | 51 - 59 |
| b. DS-2022-29 Zoning By-Law Amendment, Agricultural Zone
ARU (Stand Alone), 6715 Malden Road, Scheduling of Public
Meeting | 60 - 76 |
| c. DS-2022-31 Zoning By-Law Amendment, Condition of Sent
Application B-09-22, 4155 Manning Road, Scheduling of a
Public Meeting | 77 - 87 |
| 3. Financial Services | |
| a. FS-2022-06 2023 Business Plan and Budget Timetable | 88 - 91 |
| 4. Public Works & Engineering Services | |
| a. PWES-2022-35 Appointment of an Engineer - South Talbot and
Holden Outlet Drain | 92 - 102 |

O. By-Laws

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| 1. By-Law 2022-052 | 103 - 149 |
| Being a bylaw to provide for the repair and improvements to the South
Talbot Road Drain East and 12th Line Drain | |

2. By-Law 2022-053

Being a bylaw to provide for the repair and improvements to the Sullivan Creek Drain

3. By-Law 2022- 029 Lachance Drain (Lachance Bridge) 150 - 179

P. Unfinished Business

1. July 12, 2022 180 - 180

Q. New Business

R. Motions

1. Confirmatory By-Law 2022-054 181 - 182

S. Notices of Motion

T. Next Meeting

Tuesday, July 26, 2022

6:00 pm Special Council Meeting - Council Vacancy Appointment

7:00 pm Regular Council Meeting

U. Adjournment

Regular Meeting of Council

Minutes

Date: Tuesday, June 28, 2022
Time: 7:00 pm
Location: Electronic meeting live streamed at:
<https://video.isilive.ca/tecumseh/live.html>.

Present:

Mayor, Gary McNamara
Deputy Mayor, Joe Bachetti
Councillor, Brian Houston
Councillor, Rick Tonial

Absent:

Councillor, Bill Altenhof
Councillor, Tania Jobin

Also Present:

Chief Administrative Officer, Margaret Misek-Evans
Acting Clerk, Jennifer Alexander
Director Community & Recreation Services, Paul Anthony
Director Public Works & Engineering Services, Phil Bartnik
Director Community Safety & Fire Chief, Wade Bondy
Director People & Culture, Michelle Bonnici
Director Development Services, Brian Hillman
Director Financial Services & Chief Financial Officer, Tom Kitsos
Manager Water Services, Brad Dupuis
Manager Committee & Community Services, Christina Hebert
Manager Planning Services & Local Economic Development,
Chad Jeffery
Manager Facilities & Energy Management, Daniel Wolicki

A. Roll Call

B. Order

The Mayor calls the meeting to order at 7:00 pm.

C. Report Out of Closed Meeting

An electronic closed meeting was held earlier at 4:15 pm and reported out during the open session of the meeting.

D. Moment of Silence

The Moment of Silence is waived in light of the electronic holding of this meeting.

E. National Anthem

The National Anthem is waived in light of the electronic holding of this meeting.

F. Land Acknowledgement

We acknowledge that we are on land and surrounded by water, originally inhabited by Indigenous Peoples who have travelled this area since time immemorial. This territory is within the lands honoured by the Wampum Treaties; agreements between the Anishinaabe, Haudenosaunee, Lenni Lenape and allied Nations to peacefully share and care for the resources around the Great Lakes. Specifically, we would like to acknowledge the presence of the Three Fires Confederacy Ojibwe, Odawa, Potawatomi and Huron/Wendat Peoples. We are dedicated to honouring Indigenous history and culture while remaining committed to moving forward respectfully with all First Nations, Inuit and Métis.

G. Disclosure of Pecuniary Interest

There is no pecuniary interest declared by a Member of Council.

H. Minutes

- 1. Regular Council Meeting - May 24, 2022**
- 2. Public Council Meeting - May 24, 2022 - 12332 Riverside Drive**
- 3. Public Council Meeting - May 24, 2022 - 6780 Holden Road**
- 4. Public Council Meeting, June 7, 2022 - CIP - Industrial Incentives**
- 5. Special Council Meeting - June 7, 2022**

Motion: RCM - 175/22

Moved by Deputy Mayor Joe Bachetti
Seconded by Councillor Rick Tonial

That the May 24, 2022 minutes of the Regular Council Meeting, Public Council Meetings and the June 7, 2022 minutes of the Special Council meeting and Public Council Meeting as were duplicated and delivered to the members, **be adopted.**

Carried

I. Supplementary Agenda Adoption

Motion: RCM - 176/22

Moved by Councillor Rick Tonial

Seconded by Councillor Brian Houston

That the supplementary item added to the Regular Meeting Agenda regarding Report PWES- 2022-18 Request to Levy 2021 Municipal Drain Maintenance Costs and By-law 2022-045 Appendix A, **be approved.**

Carried

J. Delegations

1. Essex Region Conservation Authority

Re: Katie Stammler, PHD, Water Quality Scientist/Source Water Protection Manager

Ms. Katie Stammler presents the PowerPoint on Source Water Protection as appended to the agenda. She provides an overview of the importance of source water protection and explains the scoring in the Annual Progress Report.

Motion: RCM - 177/22

Moved by Councillor Rick Tonial

Seconded by Councillor Brian Houston

That the Essex Region Conservation Authority presentation on Source Water Protection, **be received.**

Carried

Motion: RCM - 178/22

Moved by Councillor Rick Tonial

Seconded by Deputy Mayor Joe Bachetti

That Report PWES-2022-24 Source Water Protection 2021 Annual Progress Reports, **be received.**

Carried

K. Communications - For Information

1. City of Windsor dated May 27, 2022

Re: Notice of Study Area Expansion and Public Consultation for Stormwater Management for the Lauzon Parkway and County Road 42 Improvements

2. Prime Minister Response dated May 20, 2022

Re Gravenhurst Resolution on Russian Sanctions

3. In Honour of the Ones We Love dated May 19, 2022

Re: Henri Breault Award

4. City of Windsor dated June 22, 2022

Re: Required rezoning for the proposed EV Battery manufacturing facility resolution

5. Town of LaSalle dated June 21, 2022

Re: Notice of Public Information Centre No. 2 - LaSalle Detroit River Storm Sewer Outfalls Study

Motion: RCM - 179/22

Moved by Councillor Rick Tonial
Seconded by Councillor Brian Houston

That Communications - For Information 1 through 5 as listed on the Tuesday, June 28, 2022 Regular Council Agenda, **be received**.

Carried

L. Communications - Action Required

1. CN Rail dated June 15, 2022

Re: National Rail Safety Week

Motion: RCM - 180/22

Moved by Deputy Mayor Joe Bachetti
Seconded by Councillor Rick Tonial

Whereas Rail Safety Week is to be held across Canada from September 19 to 25, 2022;

Whereas it is in the public's interest to raise citizens' awareness of the dangers of ignoring safety warnings at level crossings and trespassing on

rail property to reduce avoidable deaths, injuries and damage caused by incidents involving trains and citizens;

Whereas Operation Lifesaver is a public/private partnership whose aim is to work with the public, rail industry, governments, police services, media and others to raise rail safety awareness;

Whereas CN has requested City Council adopt this resolution in support of its ongoing efforts to raise awareness, save lives and prevent injuries in communities, including our municipality;

It is hereby resolved to support national Rail Safety Week to be held from September 19 to 25, 2022.

Carried

M. Committee Minutes

1. Town of Tecumseh Business Improvement Area - April 20, 2022 and May 18, 2022

Motion: RCM - 181/22

Moved by Councillor Brian Houston
Seconded by Councillor Rick Tonial

That the April 20, 2022 and May 18, 2022 minutes of the Town of Tecumseh Business Improvement Area as were duplicated and delivered to the members, **be accepted**.

Carried

2. Court of Revision - June 7, 2022 - Lachance Drain

Motion: RCM - 182/22

Moved by Councillor Rick Tonial
Seconded by Councillor Brian Houston

That the June 7, 2022 minutes of the Court of Revision - Lachance Drain as were duplicated and delivered to the members, **be adopted**.

Carried

N. Reports

1. Chief Administrative Officer - People & Culture

a. CAO-PC-2022-04 Right to Disconnect Policy

Motion: RCM - 183/22

Moved by Deputy Mayor Joe Bachetti

Seconded by Councillor Rick Toniai

That Report CAO-PC-2022-04 entitled “Right to Disconnect Policy”, **be received;**

And that Attachment 1 to Report CAO-PC-2022-04, “Right to Disconnect Policy” **be approved.**

Carried

2. Community & Recreation Services

a. CRS-2022-09 2023-2026 Parks Capital Works Plan

Motion: RCM - 184/22

Moved by Deputy Mayor Joe Bachetti

Seconded by Councillor Rick Toniai

That the Parks Capital Projects as summarized in Attachment 1 to Report CRS-2022-9, 2023 - 2026 Parks Capital Works Plan, **be adopted;**

And that the 2023 - 2026 Parks Capital Projects **be funded** through the Lifecycle Reserves, the Infrastructure Reserve and available grants as set out in Attachment 1.

Carried

b. CRS-2022-11 2023-2026 Municipal Buildings Capital Works Plan

Motion: RCM - 185/22

Moved by Councillor Rick Toniai

Seconded by Councillor Brian Houston

That the Municipal Buildings Capital Projects as summarized in Attachment 1 to Report CRS-2022-10, 2023 – 2026 Municipal Buildings Capital Works Plan, **be adopted;**

And that the 2023 – 2026 Municipal Buildings Capital Projects **be funded** through the Buildings Lifecycle Reserve.

Carried

- c. CRS-2022-12 Essex Power Youth in Community Fund

Motion: RCM - 186/22

Moved by Councillor Rick Tonial
Seconded by Councillor Brian Houston

That Report CRS-2022-12 Essex Power Youth in Community Fund, **be received.**

Carried

3. Development Services

- a. DS-2022-24 Bill 109, The More Homes for Everyone Act, 2022 - Summary Report

Motion: RCM - 187/22

Moved by Councillor Rick Tonial
Seconded by Deputy Mayor Joe Bachetti

That Development Services report DS-2022-24 entitled “Bill 109 - The More Homes for Everyone Act, 2022 – Summary Report and Delegation of Site Plan Approval”, **be received;**

And that a by-law delegating site plan approval authority to the Director Development Services or, in the Director’s absence, the Manager Planning Services & Local Economic Development, in accordance with Section 41 of the *Planning Act*, **be adopted;**

And further that a by-law authorizing and directing the execution of site plan control agreements by the Clerk and Chief Administrative Officer, which agreements are satisfactory in form and content to the Town’s Solicitor and the Director Development Services or the Manager Planning Services & Local Economic Development, **be adopted.**

Carried

- b. DS-2022-26 Site Plan Control, 13605 St. Gregory's Road, L'Essor High School

Motion: RCM - 188/22

Moved by Deputy Mayor Joe Bachetti
Seconded by Councillor Brian Houston

That a by-law authorizing the execution of the “Conseil Scolaire De District Des Écoles Catholiques Du Sud-Ouest” site plan control agreement, satisfactory in form to the Town’s Solicitor, which allows for the introduction of additional parking areas and improvements to existing parking areas, along with on-site services/works on an 11.7 hectare (28.9 acre) parcel of land situated on the south side of St. Gregory’s Road,

approximately 225 metres (738 feet) east of its intersection with Manning Road (13605 St. Gregory's Road), **be adopted**, subject to the following occurring prior to the Town's execution of the Agreement:

i)final stormwater management design and stormwater management calculations, and associated site service drawings being approved by the Town;

ii)the Owner executing the site plan control agreement; and

iii)the Owner posting security for performance pursuant to paragraph 6.1 of the agreement;

And that the execution of such further documents as are called for by the site plan control agreement approved above including, but not limited to, the execution of the acknowledgement/direction required to register the site plan control agreement on title to the lands and such other acknowledgements/ directions for any related transfers or real property registrations contemplated by the site plan control agreement, by the Mayor and Clerk and minor modifications as the Director Development Services may approve as necessary and appropriate upon conferring with the Town's Solicitor, **be authorized**.

Carried

- c. DS-2022-27 Zoning By-Law Amendment - Housekeeping ARU Guidelines, Scheduling of Public Meeting

Motion: RCM - 189/22

Moved by Councillor Rick Tonial

Seconded by Councillor Brian Houston

That the scheduling of a public meeting, on August 9, 2022 at 6:00 p.m., in accordance with the *Planning Act*, for the consideration of draft housekeeping amendments to the Town's Zoning By-laws (By-laws 1746, 2065 and 85-18) having the effect of introducing zoning regulations for Additional Residential Units (ARUs), in accordance with the Town's Official Plan, **be authorized**.

Carried

- d. DS-2022-30 Site Plan Control - 5485 Roscon Industrial Drive - D11
5485ROS

Motion: RCM - 190/22

Moved by Councillor Rick Tonial

Seconded by Councillor Brian Houston

That "Site Plan – A1.0", as prepared by Rosati Construction, and attached hereto as Attachment 2A, which depicts the construction of a 1,366.6 square metre (14,710 square foot) industrial building, along with associated on-site works, on a vacant 0.48 hectare (1.2 acre) property located on the west side of Roscon Industrial Drive, approximately 155 metres (508 feet) south of its intersection with Blackacre Drive (5485 Roscon Industrial Drive), **be approved**, subject to:

- the Owner depositing with the Town security in the form of cash or letter of credit in the amount of twenty-five thousand dollars (\$25,000) to ensure that all the services and other obligations of the Owner are completed to the satisfaction of the Town, which cash or letter of credit security deposit shall be returned to the Owner upon completion and final inspection of all obligations of the Owner; and
- storm water management report and associated servicing drawings being approved by the Town;

all of which is in accordance with Section 41 of the *Planning Act, R.S.O. 1990*.

Carried

4. Legislative & Clerk Services

- a. LCS-2022-21 Method to Fill the Vacancy of the Office of Councillor Ward 1

Motion: RCM - 191/22

Moved by Deputy Mayor Joe Bachetti

Seconded by Councillor Brian Houston

That Report LCS-2022-21 entitled "Method to Fill Vacancy of the Office of Councillor Ward 1", **be received**;

And that direction be given to Administration to conduct the appointment process outlined in Option B of Policy 89, Council Vacancy;

And further that the selection of a qualified candidate be scheduled for a Special Council meeting to occur on Tuesday, July 26, 2022 with appointment to follow at the Regular Council meeting of the same date;

And furthermore that a Council Vacancy public notice **be posted** on the Town's website and in a local newspaper for three weeks and be funded through the Council advertising budget.

Carried

- b. LCS-2022-23 Request for Noise By-Law Exemption - Nick Aujla - India 47

Motion: RCM - 192/22

Moved by Councillor Brian Houston

Seconded by Councillor Rick Toniai

That Mr. Nick Aujla, located at 12245 Westlake Drive, **be granted** an exemption from the Town's Noise By-law No. 2002-07, as amended, on Thursday, July 7 and Friday, July 8, 2022, to permit music entertainment from 6 pm to 11:30 pm and at India 47, 1640 Lesperance Rd on July 6, 2022 from 6 pm to 11:30 pm;

And that the area residents **be informed** by Mr. Nick Aujla of this exemption from the Noise By-law, and Administration communicate the exemption to the OPP;

And further that the OPP be requested **to monitor** the event for concerns and/or complaints respecting the emissions of sound, resulting from musical entertainment.

Carried

- c. LCS-2022-25 Request for Noise By-Law Exemption - St. Charbel's Church

Motion: RCM - 193/22

Moved by Deputy Mayor Joe Bachetti

Seconded by Councillor Rick Toniai

That an exemption from the Town's Noise By-law No. 2002-07, as amended, **be granted** on Friday, July 15 and Saturday July 16th from 12 pm to 11:30 pm and Sunday July 17, from 12 pm to 11:00 pm to permit musical entertainment for a Community Festival at St. Charbel Antonin Maronite Catholic Church outdoor grounds located at 5700 Outer Drive, Tecumseh (event);

And that the OPP **be informed** of this exemption from the Noise-By-Law and the applicant also notify residents;

And further that the OPP be requested **to monitor** the event for concerns and/or complaints respecting the emissions of sound, resulting from musical entertainment.

Carried

- d. LCS-2022-22 Request for Noise By-law Exemption - Tabouli by Eddy's

It is requested that Administration review the Noise By-law and provide recommendations for efficiencies with exemptions.

Motion: RCM - 194/22

Moved by Councillor Brian Houston

Seconded by Councillor Rick Tonial

That Report LCS-2022-22 entitled "Request for Noise By-law Exemption - Tabouli by Eddy's", **be received**;

And that Council **authorize** Administration to grant Tabouli by Eddy's, located at 1614 Lesperance Road, an exemption from the Town Noise By-Law 2022-07, as amended, on Saturdays starting on Saturday July 9, 2022 between the hours of 9 pm and 11:30 pm to permit music entertainment for the summer months ending September 25, 2022;

And further that the area residents **be informed** by Tabouli by Eddy's of this exemption from the Noise By-law, and Administration communicate the exemption to the OPP;

And furthermore that concerns and/or complaints respecting the emission of sound, resulting from the entertainment, are to **be monitored**;

And furthermore over that the Chief Administrative Officer be given authority to revoke the exemption granted to Tabouli by Eddy's for non-compliance with this exemption and emitting noise outside of the exempted days and hours.

Carried

- e. LCS-2022-24 Essex Power Corporation – Appointment of Proxyholder for Shareholders' 2022 Annual Meeting

Motion: RCM - 195/22

Moved by Councillor Rick Tonial

Seconded by Deputy Mayor Joe Bachetti

That Mayor Gary McNamara **be appointed** proxyholder for the Town of Tecumseh to cast its shareholder's votes at Essex Power Corporation's 2022 Shareholders' Annual Meeting scheduled to be held on Wednesday, June 29, 2022;

And that Mr. Tom Burton **be appointed** as an alternate proxyholder for the Town of Tecumseh to cast its shareholder's votes at Essex Power Corporation's 2022 Shareholders' Annual Meeting, if Mayor Gary McNamara is absent from the meeting;

And further that the Acting Clerk **be authorized** to sign all necessary proxy forms to implement this resolution and to forward them to Essex Power Corporation.

Carried

5. Public Works & Engineering Services

- a. PWES-2022-18 Request to Levy 2021 Municipal Drain Maintenance Costs

Motion: RCM - 196/22

Moved by Councillor Rick Tonial
Seconded by Councillor Brian Houston

That Report PWES-2022-18 Request to Levy 2021 Municipal Drain Maintenance Costs, **be received**;

And that By-Law 2022-045 to levy maintenance costs for the drains attached in Appendix A, **be adopted**.

Carried

- b. PWES-2022-21 Investing in Canada Infrastructure Program, Green Stream Stage II - Watermain Replacement

Motion: RCM - 197/22

Moved by Deputy Mayor Joe Bachetti
Seconded by Councillor Rick Tonial

That the Watermain Replacement Project: Centennial Drive & Woodridge Drive **be added** to the 2022 Public Works & Engineering Services Capital Works Plan, with detailed design commencing in September 2022;

And that the total project expenditures of \$3,500,000 **be funded** through the Watermain Reserve Fund, with the understanding that the Town's anticipated net costs will be \$933,450 under the Investing in Canada Infrastructure Program: Green Stream Stage II, 2021 Intake;

And further that a by-law **be prepared** to authorize the Mayor and Clerk to sign a Transfer Payment Agreement between Her Majesty the Queen in right of the Province of Ontario, as represented by the Minister of Infrastructure for the Province of Ontario ("Province") and The Corporation of the Town of Tecumseh ("Town"), in a form satisfactory to the Town's Solicitor, financial content satisfactory to the Town's Chief Financial Officer and technical content satisfactory to the Town's Engineer, for the grant received from the Investing in Canada Infrastructure Program: Green Stream Stage II, 2021 Intake for the Watermain Replacement Project: Centennial Drive & Woodridge Drive that includes:

- Centennial Drive from Riverside Drive to St. Thomas Street

- Woodridge Drive from Dillon Drive to St. Thomas Street
- Interconnections with Little River Boulevard and St. Thomas Street.

Carried

c. PWES-2022-24 Source Water Protection 2021 Annual Progress Reports

This report was brought forward to Delegation for Council discussion and consideration.

d. PWES-2022-25 Tecumseh Road Storm Sewer and Road Improvements - Tender Award

Motion: RCM - 198/22

Moved by Councillor Brian Houston
Seconded by Councillor Rick Tonial

That the tender for the Tecumseh Road Storm Sewer and Road Improvements in the amount of \$4,859,000 excluding HST **be awarded** to Coco Paving Inc.

And that a by-law **be prepared** to authorize the Mayor and Clerk to execute an agreement, satisfactory in form to the Town's solicitor, with Coco Paving Inc.

And further that funding allocations, reflecting a total budget requirement of \$5,809,500 with a \$1,021,400 increase to the original allocation **be accommodated** as follows:

- Road Lifecycle Reserve – increase from \$2,687,200 to \$2,992,800
- Watermain Reserve Fund – increase from \$67,000 to \$93,300
- Wastewater Sewers Reserve Fund – increase from \$38,300 to \$112,200
- Storm Sewer Lifecycle Reserve – increase from \$1,995,600 to \$2,611,200

Carried

e. PWES-2022-27 Amendment to the 2022 PWES Capital Works Projects

Motion: RCM - 199/22

Moved by Deputy Mayor Joe Bachetti
Seconded by Councillor Brian Houston

That the Tecumseh Hamlet Secondary Plan Area – Northwest Water & Wastewater Infrastructure Projects **be added** to the 2022 Public Works & Engineering Services Capital Works Projects;

And that expenditures for the completion of detailed engineering design for the Tecumseh Hamlet Secondary Plan Area – Northwest Water & Wastewater Infrastructure Projects, **be authorized and funded from:**

- \$300,000 from the Watermain Reserve Fund
- \$720,000 from the Wastewater Sewer Reserve Fund;

And further that the project management costs of \$40,000 for 2022 and \$500,000 for 2023, to assist with the delivery of the 2022 and 2023 Public Works & Engineering Services Capital Works Projects as contained within the May 5, 2022 Special Council Meeting Presentation, including the Tecumseh Hamlet Secondary Plan Area – Northwest Water & Wastewater Infrastructure Projects, **be authorized and funded from:**

- \$135,000 from the Road Lifecycle Reserve
- \$135,000 from the Watermain Reserve Fund
- \$135,000 from the Wastewater Sewer Reserve Fund
- \$135,000 from the Storm Sewer Lifecycle Reserve.

Carried

- f. PWES-2022-31 Oldcastle Stormwater Master Plan - Study Completion and Final Adoption

Motion: RCM - 200/22

Moved by Deputy Mayor Joe Bachetti
Seconded by Councillor Brian Houston

That the Oldcastle Stormwater Master Plan, **be adopted.**

Carried

- g. PWES-2022-32 Lesperance Road VIA Crossing Improvements - Tender Results

Motion: RCM - 201/22

Moved by Councillor Brian Houston
Seconded by Councillor Rick Tonial

That Report PWES-2022-32 Lesperance Road VIA Rail Crossing Improvements – Tender Results, **be received;**

And that the single tender received for the Lesperance Road VIA Rail Crossing Improvements **be rejected** due to the bid being significantly over budget.

Carried

- h. PWES-2022-33 2022 Community Safety Vehicle Tender Award

Motion: RCM - 202/22

Moved by Councillor Brian Houston
Seconded by Councillor Rick Tonial

That the purchase of a 2022 Ford F150 Crew Cab, XL 4x4 from East Court Ford Lincoln in the amount of \$56,999 plus non-refundable HST and emergency services outfitting at a cost of \$10,661 plus non-refundable HST **be authorized;**

And that the \$8,851 allocation deficit **be funded** from the Lifecycle Fleet Reserve;

And further that the funding allocation for fleet replacement **be adjusted** to reflect current vehicle replacement costs as part of the 2023 Operational Budget.

Carried

6. Technology & Client Services

- a. TCS-2022-05 Farm 911 Civic Addressing

Motion: RCM - 203/22

Moved by Deputy Mayor Joe Bachetti
Seconded by Councillor Rick Tonial

That Report TCS-2022-05, regarding the Farm 911 Emily Project, **be received;**

And that the Application for Farm 911 Emily Project Access Point **be approved** for use;

And further that the Town's Fees & Charges By-law 2021-096 **be amended** to include a fee for "Emily Project Access Point (EPAP) - Civic Addressing Sign" of \$40.00 in Public Works section under Schedule 'E';

And furthermore that Farm 911- Emily Project Access Point (EPAP) Policy/Procedures, as attached to this report, **be approved.**

Carried

O. By-Laws

1. By- Law 2022-044

Being a by-law to amend By-Law No. 2003-58, being a by-law to prohibit parking on private property without consent of the owner or occupant and to provide for the towing away of motor vehicles thereon

2. By-Law 2022-045

A by-law to assess actual costs incurred for maintenance of various drains

3. By-Law 2022-046

Being a by-law to authorize the execution of a Site Plan Control Agreement between The Corporation of the Town of Tecumseh and Greater Essex County District School Board

4. By-Law 2022-047

Being a by-law to amend By-law 85-18, the Town's Comprehensive Zoning By-law for those lands in the former Township of Sandwich South
(Planning File: D19 6780HO – 6780 Holden Road Condition of Consent Application B-01-22)

5. By-Law 2022-048

Being a by-law to confirm and appoint certain officers, servants and employees of The Corporation of the Town of Tecumseh

6. By-Law 2022-049

Being a by-law to appoint an authorized person to approve site plan control applications on behalf of the municipality

7. By-Law 2022-050

Being a by-law to authorize the execution of an Agreement between The Corporation of the Town of Tecumseh and Coco Paving Inc. for the construction of the Tecumseh Road East - Street and Storm Sewer Improvements

Motion: RCM - 204/22

Moved by Councillor Rick Tonial

Seconded by Councillor Brian Houston

That By-Law 2022-044 being a by-law to amend By-Law No. 2003-58, being a by-law to prohibit parking on private property without consent of the owner or occupant and to provide for the towing away of motor vehicles thereon;

That By-Law 2022-045 being a by-law to assess actual costs incurred for maintenance of various drains;

That By-Law 2022-046 being a by-law to authorize the execution of a Site Plan Control Agreement between The Corporation of the Town of Tecumseh and Greater Essex County District School Board;

That By-Law 2022-047 being a by-law to amend By-law 85-18, the Town's Comprehensive Zoning By-law for those lands in the former Township of

Sandwich South (Planning File: D19 6780HO – 6780 Holden Road Condition of Consent Application B-01-22);

That By-Law 2022-048 being a by-law to confirm and appoint certain officers, servants and employees of The Corporation of the Town of Tecumseh;

That By-Law 2022-049 being a by-law to appoint an authorized person to approve site plan control applications on behalf of the municipality;

That By-Law 2022-050 being a By-law to authorize the execution of an agreement between The Corporation of the Town of Tecumseh and Coco Paving Inc. for the construction of the Tecumseh Road East - Street and Storm sewer Improvements.

Be given first and second reading.

Carried

Motion: RCM - 205/22

Moved by Deputy Mayor Joe Bachetti
Seconded by Councillor Brian Houston

That By-Law 2022-044 being a by-law to amend By-Law No. 2003-58, being a by-law to prohibit parking on private property without consent of the owner or occupant and to provide for the towing away of motor vehicles thereon;

That By-Law 2022-045 being a by-law to assess actual costs incurred for maintenance of various drains;

That By-Law 2022-046 being a by-law to authorize the execution of a Site Plan Control Agreement between The Corporation of the Town of Tecumseh and Greater Essex County District School Board;

That By-Law 2022-047 being a by-law to amend By-law 85-18, the Town's Comprehensive Zoning By-law for those lands in the former Township of Sandwich South (Planning File: D19 6780HO – 6780 Holden Road Condition of Consent Application B-01-22);

That By-Law 2022-048 being a by-law to confirm and appoint certain officers, servants and employees of The Corporation of the Town of Tecumseh;

That By-Law 2022-049 being a by-law to appoint an authorized person to approve site plan control applications on behalf of the municipality;

That By-Law 2022-050 being a By-law to authorize the execution of an agreement between The Corporation of the Town of Tecumseh and Coco Paving Inc. for the construction of the Tecumseh Road East - Street and Storm sewer Improvements.

Be given third and final reading.

Carried

P. Unfinished Business

1. June 28, 2022

The Members receive the Unfinished Business listing for Tuesday, June 28, 2022.

Q. New Business

Intersection and Shawnee Roads Road Work

A Member comments on the asphalt road work at Intersection and Shawnee Roads and requests that the small section of Shawnee be completed where there is a visible defect in the pavement.

Tecumseh 100th Anniversary Celebration

A Member advises that several events have been planned from July 2 to 4 to celebrate the Town of Tecumseh's 100th Anniversary and residents are encouraged to attend the festivities.

Cavalry Court

A Member extends gratitude to staff for their quick response to a sink hole on Cavalry Court.

R. Motions

1. Confirmatory By-Law 2022-051

Motion: RCM - 206/22

Moved by Councillor Brian Houston
Seconded by Councillor Rick Tonial

That By-Law 2022- 051 being a by-law to confirm the proceedings of the Tuesday, June 28, 2022, regular meeting of the Council of The Corporation of the Town of Tecumseh **be given** first, second, third and final reading.

Carried

S. Notices of Motion

There are no Notices of Motion presented to Council.

T. Next Meeting

Tuesday, July 12, 2022

6:00 pm Public Council Meeting - South Talbot Road Drain East and 12th Line Drain

6:30 pm Public Council Meeting - Sullivan Creek Drain

7:00 pm Regular Council Meeting

U. Adjournment

Motion: RCM - 207/22

Moved by Councillor Rick Tonial

Seconded by Deputy Mayor Joe Bachetti

That there being no further business, the Tuesday, June 28, 2022 meeting of the Regular Council **be adjourned** at 10:34 pm.

Carried

Gary McNamara, Mayor

Jennifer Alexander, Acting Clerk

Public Meeting of Council

Minutes

Date: Tuesday, June 28, 2022
Time: 5:00 pm
Location: Electronic meeting live streamed at:
<https://video.isilive.ca/tecumseh/live.html>.

Present: Mayor, Gary McNamara
Deputy Mayor, Joe Bachetti
Councillor, Brian Houston
Councillor, Rick Tonial

Absent: Councillor, Bill Altenhof
Councillor, Tania Jobin

Also Present: Chief Administrative Officer, Margaret Misek-Evans
Acting Clerk, Jennifer Alexander
Director Public Works & Engineering Services, Phil Bartnik
Director People & Culture, Michelle Bonnici
Director Technology & Client Services, Shaun Fuerth
Director Development Services, Brian Hillman
Director Financial Services & Chief Financial Officer, Tom Kitsos
Manager Committee & Community Services, Christina Hebert
Manager Planning Services & Local Economic Development,
Chad Jeffery
Deputy Treasurer & Manager Financial Services, Zora
Visekruna

A. Roll Call

B. Call to Order

The Mayor calls the meeting to order at 5:00 pm.

C. Land Acknowledgement

We acknowledge that we are on land and surrounded by water, originally inhabited by Indigenous Peoples who have travelled this area since time immemorial. This territory is within the lands honoured by the Wampum Treaties; agreements between the Anishinaabe, Haudenosaunee, Lenni Lenape and allied Nations to peacefully share and care for the resources around the Great Lakes. Specifically, we would like to acknowledge the presence of the Three Fires Confederacy Ojibwe, Odawa, Potawatomi and Huron/Wendat Peoples. We are dedicated to honouring Indigenous history and culture while remaining committed to moving forward respectfully with all First Nations, Inuit and Métis.

D. Disclosure of Pecuniary Interest

There is no pecuniary interest declared by a Member of Council.

E. Introduction and Purpose of Meeting

The purpose of the meeting is to hear public comment on the draft Development Charges Update Study and associated draft amending Development Charges By-Law.

The Director Development Services provides a brief overview of the Development Charges Update Study as prepared by Watson & Associates Economists Ltd. He notes that the recent amendments to the Development Charges Act require an update to the Town's Development Charges By-law in order for the current By-law to conform to the recently enacted provincial legislation.

F. Delegations

1. Watson & Associates Economists Ltd.

Re: Darryl Abbs and Gary Scandlan

Gary Scandlan is joined by Darryl Abbs and presents an overview of Town's Development Charges Update Study as appended on the agenda. The consultants review the recent amendments to the Development Charges Act; provide a summary of updates included in the Town's Development Charges Update Study, review the resulting changes in the Development Charges to be included in the amending Development Charges By-law and a comparison of those charges with area municipalities.

The Mayor opens the floor for questions.

A Member inquires on additional public comment opportunities with this Study. The Director Development Services indicates that the Development Charges Update Study has been posted on the Town's website for 60 days in accordance with the Development Charges Act and Mr. Scandlan notes that any comments that are received before the Development Charges Update Study and associated amending Development Charges By-law is adopted will be reviewed by Administration and Watson & Associates Economists Ltd.

In response to an inquiry, the Director Financial Services advises that a policy is being developed regarding interest charges as it relates to deferred payments that will be permitted due to Development Charges Act amendments.

G. Communications

1. Public Notice dated June 6, 2022

Motion: PCM - 29/22

Moved By Councillor Rick Tonial
Seconded By Councillor Brian Houston

That Communications - For Information item 1 as listed on the Tuesday, June 28, 2022 Public Council Meeting Agenda, **be received**.

Carried

H. Reports

1. DS-2022-28 Development Charges Update Study - June 28, 2022 Public Meeting

Motion: PCM - 30/22

Moved By Deputy Mayor Joe Bachetti
Seconded By Councillor Brian Houston

That Report DS-2022-28 entitled "Development Charges Update Study, June 28, 2022 Public Meeting", **be received**.

Carried

I. Adjournment

Motion: PCM - 31/22

Moved By Councillor Brian Houston
Seconded By Councillor Rick Tonial

That there being no further business, the Tuesday, June 28, 2022 meeting of the Public Council Meeting **be adjourned** at 5:32 pm.

Carried

Gary McNamara, Mayor

Jennifer Alexander, Acting Clerk

Public Meeting of Council

Minutes

Date: Tuesday, June 28, 2022
Time: 6:00 pm
Location: Electronic meeting live streamed at:
<https://video.isilive.ca/tecumseh/live.html>.

Present: Mayor, Gary McNamara
Deputy Mayor, Joe Bachetti
Councillor, Brian Houston
Councillor, Rick Tonial

Absent: Councillor, Bill Altenhof
Councillor, Tania Jobin

Also Present: Chief Administrative Officer, Margaret Misek-Evans
Acting Clerk, Jennifer Alexander
Director Public Works & Engineering Services, Phil Bartnik
Director People & Culture, Michelle Bonnici
Director Technology & Client Services, Shaun Fuerth
Director Development Services, Brian Hillman
Manager Committee & Community Services, Christina Hebert
Manager Planning Services & Local Economic Development,
Chad Jeffery

A. Roll Call

B. Call to Order

The Mayor calls the meeting to order at 6:00 pm.

C. Land Acknowledgement

We acknowledge that we are on land and surrounded by water, originally inhabited by Indigenous Peoples who have travelled this area since time immemorial. This territory is within the lands honoured by the Wampum Treaties; agreements between the Anishinaabe, Haudenosaunee, Leni Lenape and allied Nations to peacefully share and care for the resources around the Great Lakes. Specifically, we would like to acknowledge the presence of the Three Fires Confederacy Ojibwe, Odawa, Potawatomi and Huron/Wendat Peoples. We are dedicated to honouring Indigenous history and culture while remaining committed to moving forward respectfully with all First Nations, Inuit and Métis.

D. Disclosure of Pecuniary Interest

There is no pecuniary interest declared by a Member of Council.

E. Introduction and Purpose of Meeting

The purpose of the meeting is to hear public comment on a Zoning by-Law Amendment application for a 0.38 parcel of land situated at the southwest corner of the Lesperance Road and Dillion Drive intersection. The purpose of the application is to amend Zoning By-law 1746 by rezoning the subject property from "Residential Zone 3 (R3)" to a site-specific "Residential Zone 3" in order to facilitate the construction of a residential development consisting of four, 2.5-storey, six-unit dwellings and establish site-specific lot, building and yard provisions. The subject property is designated "Residential" in the Tecumseh Official Plan.

The Manager Planning Services highlights the report as appended to the agenda.

F. Delegations

1. Christian LaFave, Applicant and Harry Froussios, Planner

Re: ZBA 205-227 Lesperance Road

Mr. Harry Froussios, the Applicant's Planner, explains the proposed development.

2. Ann and Harry Campeau, Residents

Re: Proposed Zoning By-Law Amendment Application 205 - 227 Lesperance Road

Mrs. Campeau raises concerns over the height of the proposed buildings and privacy to existing abutting properties to the development. Mr. LaFave indicates that the development will have landscape to provide additional privacy to abutting properties.

The Mayor opened the floor to questions from the Members.

In response to an inquiry regarding Essex Region Conservation Authority's (ERCA) correspondence, the Manager Planning Services explains that the Town recently purchased a deep-water vehicle and adopted a Flood Emergency Response Plan which it believed adequately addressed ERCA's comments related to safe access. He notes that the proposed buildings will have to comply with ERCA's regulations pertaining to elevation.

G. Communications

1. **Notice of Public Meeting dated May 25, 2022**
2. **Essex Region Conservation Authority dated June 20, 2022**
3. **Kevin Labute dated June 19, 2022**

Re: Opposition to Proposed Zoning By-law Amendment - Application D19 205LES

4. **Peter Hradowy dated June 21, 2022**

Re: ZBA 205-227 Lesperance Road

Motion: PCM - 32/22

Moved By Deputy Mayor Joe Bachetti
Seconded By Councillor Brian Houston

That Communications - For Information 1 through 4 as listed on the Tuesday, June 28, 2022 Public Council Meeting Agenda, **be received**.

Carried

H. Reports

1. DS-2022-18 Zoning By-Law Amendment, 205-227 Lesperance Road, Scheduling of a Public Meeting

Motion: PCM - 33/22

Moved By Councillor Rick Toniai
Seconded By Councillor Brian Houston

That Report DS-2022-18 entitled "Zoning By-Law Amendment, 205-227 Lesperance Road, Scheduling of a Public Meeting", **be received**.

Carried

I. Adjournment

Motion: PCM - 34/22

Moved By Councillor Rick Toniai

Seconded By Councillor Brian Houston

That there being no further business, the Tuesday, June 28, 2022 meeting of the Public Council Meeting **be adjourned** at 6:35 pm.

Carried

Gary McNamara, Mayor

Jennifer Alexander, Acting Clerk

Tecumseh Accessibility Advisory Committee

Minutes

Date: Tuesday, June 14, 2022
Time: 1:00 pm
Location: Electronic meeting live streamed at:
<https://video.isilive.ca/tecumseh/live.html>.

Present:
Chair, Ron Matysek
Member, Melissa Bloomfield
Member, David Golden
Member, Linda Stanczak

Absent:
Councillor, Tania Jobin
Member, Ron Doherty
Member, Catherine Rutherford

Also Present:
Director Community & Recreation Services, Paul Anthony
Acting Clerk, Jennifer Alexander

A. Roll Call

B. Call to Order

The Chairperson calls the meeting to order at 1:03 pm.

C. Land Acknowledgement

We acknowledge that we are on land and surrounded by water, originally inhabited by Indigenous Peoples who have travelled this area since time immemorial. This territory is within the lands honoured by the Wampum Treaties; agreements between the Anishinaabe, Haudenosaunee, Lenni Lenape and allied Nations to peacefully share and care for the resources around the Great Lakes. Specifically, we would like to acknowledge the presence of the Three Fires Confederacy Ojibwe, Odawa, Potawatomi and Huron/Wendat Peoples. We are dedicated to honouring Indigenous history and culture while remaining committed to moving forward respectfully with all First Nations, Inuit and Métis.

D. Disclosure of Pecuniary Interest

There is no pecuniary interest declared by a Member of the Committee.

E. Delegations

1. Proposed Cada Library Renovations

Settimo Vilardi, Architect, Archon Architects Incorporated

The Director Parks & Recreation Services provides a brief update on the process of the Cada Library renovation design. He explains that the purpose of this meeting is to provide the Committee with an opportunity to provide feedback on the library design regarding accessibility features.

The Architect, Settimo Vilardi, explains the design of the library and highlights the accessibility features. The Architect indicates that the final design will be completed at the end of this year. The Chair opens the floor for questions.

The Members provide feedback regarding the universal washroom, interior colour palette, and parking.

F. Communications

1. Essex County Accessibility Advisory Committee Speaker's Forum - No Barriers, No Problem - June 27, 2022

The Essex County Accessibility Advisory Committee is inviting the public to hear from two experts who speak from personal experience and deliver powerful messages about accessibility.

The virtual *No Barriers, No Problem* speakers' forum starts at **2 p.m. on June 27**. The event is free and those who wish to attend can sign up by completing the [online registration form](#). The deadline for registration is June 23.

2. WE Check the Trails Program

Permanent program launched for National AccessAbility Week

The program allows residents to submit feedback, report and rate accessibility conditions of public multi-use trails which are then reviewed by the project team and reported back to those responsible for the trails. For more information, see the [WE Check the Trails website](#).

3. Art Windsor-Essex Exhibition - May 20 - June 20, 2022

The "Eye Traffics in Feelings: A Community Exhibition" sponsored by Assisted Living Southwestern Ontario. Local photographer and educator Therese Hounsell engaged 8 people with disabilities in the creative process of photography. The program encouraged the participants to explore how photography awakens within us a more thoughtful, mindful, and reflective way of seeing everything. [View Art Windsor-Essex Exhibition website](#) for more information.

Motion: TAAC - 08/22

Moved By Member Linda Stanczak
Seconded By Member David Golden

That Communications - For Information 1 through 3 as listed on the Tuesday, June 14, 2022 Tecumseh Accessibility Advisory Committee Agenda, **be received**.

Carried

4. TAAC Minutes - April 28, 2022 and May 10, 2022

Motion: TAAC - 09/22

Moved By Member Linda Stanczak
Seconded By Member David Golden

That the April 28, 2022 and May 10, 2022 minutes of the Tecumseh Accessibility Advisory Committee as were duplicated and delivered to the members, **be adopted**.

Carried

G. Reports

There are no Reports presented to the Committee.

H. Unfinished Business

The Committee received the Unfinished Business Listing.

I. New Business

Eleanor Tilson

The Members acknowledge the passing of Eleanor Tilson, a former committee member whose dedication to accessibility has greatly helped those with disabilities in our community.

Town Hall Flower Planters

A member raised concerns with the flower planters near the ramp entering into the main entrance at Town Hall and suggested that they too close to the ramp. A request to Administration will be made to increase the distance of the flower planters from the ramp access.

Town Hall Entrance Steps

A Member raised concern with the Town Hall entrance steps which are a uniform grey colour. This colour is difficult for persons with vision disabilities to navigate.

A request to Administration will be made to increase the contrast the steps.
National AccessAbility Week

The Members express gratitude to Administration for the organization of events
honouring National AccessAbility Week.

J. Next Meeting

The next Tecumseh Accessibility Advisory Committee meeting will be held at the
call of the Chair.

K. Adjournment

Motion: TAAC - 10/22

Moved By Member Linda Stanczak
Seconded By Member David Golden

That there being no further business, the Tuesday, June 14, 2022 meeting of the
Tecumseh Accessibility Advisory Committee **be adjourned** at 2:27 pm.

Carried

Ron Matysek, Chairperson

Jennifer Alexander, Acting Clerk

Police Services Board for the Town of Tecumseh

Minutes

Date: Thursday, June 9, 2022
Time: 4:30 pm
Location: Electronic meeting live streamed at:
<https://video.isilive.ca/tecumseh/live.html>.

Present:
Mayor, Gary McNamara
Deputy Mayor, Joe Bachetti
Member, Marc Gomes
Chair, Christopher Hales
Vice-Chair, Paul Sweet

Also Present:
OPP Staff Sergeant, Jamie Smith
Secretary, Margaret Misek-Evans, CAO
Recording Secretary, Ellen Preuschat

A. Call to Order

Chair Christopher Hales called the meeting to order at 4:30 pm.

B. Roll Call

Deputy Mayor Joe Bachetti advised the Chair and members that he will need to leave the meeting early due to another commitment.

C. Disclosure of Pecuniary Interest

There was no pecuniary interest declared by a member of the Board.

D. Approval of the Agenda

Motion: PSB - 16/22

Moved by Member Marc Gomes
Seconded by Vice-Chair Paul Sweet

That the Supplementary Agenda for the Police Services Board Meeting, dated Thursday, June 9, 2022, as duplicated and delivered to the members thereof, **be accepted.**

Carried

E. Approval of the Previous Minutes**1. Police Services Board Regular Meeting - April 14, 2022****Motion: PSB - 17/22**

Moved by Deputy Mayor Joe Bachetti

Seconded by Mayor Gary McNamara

That the Regular Minutes of the April 14, 2022 Police Services Board Meeting, as duplicated and delivered to the members thereof, **be adopted.**

Carried

F. Delegations

There were no delegations presented to the board. Chair Hales noted that the Crime Stoppers presentation has been deferred to the September 8 board meeting.

G. OPP Monthly Report**1. OPP Police Services Board Monthly Overview - April 2022****2. OPP Report to Tecumseh PSB - April 2022**

Staff Sgt. Smith provided a summary of the OPP Report for the month of April 2022.

With respect to bike patrols in parks, Sgt. Smith indicated he is looking into the potential for auxiliary unit members to conduct these patrols without a uniformed officer present (but in direct communication). Chair Hales requested that Sgt. Smith report back to the board through administration once he has a firm answer on whether bike patrols could be staffed in this manner. Mayor McNamara suggested that if policies on use of auxiliary members need to be amended to accommodate this, the matter could be raised at the upcoming AMO annual conference.

Vice Chair Sweet asked about using special constables for such patrols. Sgt. Smith indicated the detachment only has one special constable (assigned to court duties), but this may be worth exploring as well. He further noted that auxiliary members were employed at the Optimist Victoria Day Fireworks event with success and will be used at other festival events in the summer months.

With respect to the Mental Health Response Unit, CAO Marg Misek-Evans inquired if statistics are kept for Leamington. Sgt. Smith confirmed that a separate document is provided to the police advisory committee in that municipality. The CAO indicated that periodic reporting in addition to these

monthly statistics, including a budget report, would be advisable going forward.

Deputy Mayor Bachetti left the meeting at this point (4:57 p.m.).

Motion: PSB - 19/22

Moved by Mayor Gary McNamara
Seconded by Vice-Chair Paul Sweet

That the OPP Report for the month of April 2022 be received.

Carried

H. Reports

1. Chair Christopher Hales (verbal report)

Re: OAPSB 2022 Spring Conference and AGM, May 26-27, 2022

Chair Hales commended the Ontario Association of Police Services Boards for a well organized and informative hybrid (in person and virtual) conference. He noted that the presentation materials will be available on the OAPSB website.

Motion: PSB - 20/22

Moved by Vice-Chair Paul Sweet
Seconded by Member Marc Gomes

That the verbal report by Chair Christopher Hales on the Ontario Association of Police Services Boards 2022 Spring Conference and Annual General Meeting, held on May 26-27, 2022, in Toronto, ON, and attended by the members in virtual format, **be received.**

Carried

I. Communications - Action Required

1. Ontario Provincial Police dated May 31, 2022

Re: Police Services Board (PSB) Survey

CAO Marg Misek-Evans indicated that board members who do not sit on the Policy Committee will be invited to submit comments on the OPP's Police Services Board Survey for the committee's consideration in the final submission.

Motion: PSB - 21/22

Moved by Mayor Gary McNamara
Seconded by Vice-Chair Paul Sweet

That the Policy Committee of the Police Services Board **be convened** for the purpose of completing the OPP Police Services Board Survey prior to the due date of June 30, 2022.

Carried

J. Communications - For Information Purposes**1. Ministry of the Solicitor General dated April 25, 2022**

Re: All Chiefs Memo 22-0044 re Police Services Board Members and Elections

2. Ministry of the Solicitor General dated April 27, 2022

Re: All Chiefs Memo 22-0045 re: Right to Disconnect Policy / Written Policy on Disconnecting from Work

3. Ministry of the Solicitor General dated April 27, 2022

Re: All Chiefs Memo 22-0046 re Continued Mask and Face Covering Requirements in Certain Settings beyond April 27, 2022

4. Ministry of the Solicitor General dated May 11, 2022

Re: All Chiefs Memo 22-0053 re Conclusion of COVID-19 Enforcement Support Line and Reporting of Enforcement Data under the *Emergency Management and Civil Protection Act* and the *Reopening Ontario Act*

Motion: PSB - 22/22

Moved by Vice-Chair Paul Sweet
Seconded by Mayor Gary McNamara

That correspondence detailed as Items 1-4, Communications for Information, **be received**.

Carried

K. Old Business**1. Increase in False Alarm Calls for Service**

OPP Update

At the April 14, 2022 board meeting Staff Sgt. Smith was requested to look into the high number of false alarm calls. He reported that of the 57 alarms in March, 45 were business related (mainly in industrial area of

Oldcastle), eight residential, three schools, and one cemetery. Discussion followed on how this information is shared with the municipality so that repeating false alarms can be identified and addressed. Staff Sgt. Smith will follow up and provide tracking of false alarms back to January 2022. Mayor McNamara suggested that notices be sent to educate businesses on the cost of false alarm calls. The CAO indicated that a summary would be helpful, as Council may wish to consider instituting a fine in the next budget cycle.

2. Traffic Enforcement Data

OPP Update

At the April 14, 2022 board meeting, Staff Sgt. Smith committed to checking on the accuracy of the traffic data in the OPP's monthly report in light of the recent e-ticketing system put in place. He indicated he is satisfied with the accuracy of this data.

3. Meeting Invitation to Chief Superintendent, OPP West Region

CAO Update

CAO Margaret Misk-Evans reported that Chief Superintendent Dwight Thib plans to attend the September 8 board meeting, barring any operational priorities that may take precedence.

L. New Business

1. Other New Business

a. Review of School Resource Officer Program

Chair Hales reported that he received email correspondence today regarding a review of the School Resource Officer (SRO) Program being conducted by the OPP. Essex County is one of 31 detachments across the province chosen as a case study location. The intent of the study is to look at meeting the needs of the community in its entirety and inclusively. The study is being coordinated by a Social Sciences professor from the University of Waterloo supported by research assistants. Board representation will be through the Chair's participation in surveys and a "Town Hall" discussion, scheduled for mid to late June.

M. Next Meeting

Thursday, September 8, 2022 at 4:30 p.m.

N. Adjournment

Motion: PSB - 23/22

Moved by Member Marc Gomes

Seconded by Vice-Chair Paul Sweet

That there being no further business to discuss, the Thursday, June 9, 2022 meeting of the Tecumseh Police Services Board **adjourn** at 5:33 pm.

Carried

Christopher Hales, Chair

Margaret Misek-Evans, Secretary



The Corporation of the Town of Tecumseh

Community & Recreation Services

To: Mayor and Members of Council

From: Paul Anthony, Director Community & Recreation Services

Date to Council: July 12, 2022

Report Number: CRS-2022-10

Subject: 2023 – 2026 Arena and Pool Capital Works Plan

Recommendations

It is recommended:

That the Arena and Pool Capital Projects as summarized in Attachment 1 to Report CRS-2022-10, 2023 - 2026 Arena and Pool Capital Works Plan, **be adopted**

And that the 2023 – 2026 Arena and Pool Capital Projects **be funded** through the Arena and Pool Lifecycle Reserves and the Infrastructure Reserve.

Executive Summary

The purpose of this report is to present to Council for its formal adoption the 2023-2026 Arena and Pool Five Year Capital Works Plan supplementary to the concurrent 2022 Arena and Pool Capital Works Plan as previously approved in Report CRS-2022-02.

At the December 14, 2021, Regular Meeting of Council, an alternative strategy for the Town's Multi-Use SportsPlex was presented and supported in principle as set out in Report CRS-2021-18 capturing priority elements including a triple gymnasium, artificial turf fields and upgrades to the Lacasse Ball Diamond.

Furthermore, outcomes following the SCM – Strategic Priorities Workshop on March 29, 2022 support recommendations as presented by Administration along with additional

directions as outlined in Motion: SCM 12/22, which have been included and prioritized correspondingly.

The developed plan for capital projects provides a detailed synopsis in prioritizing necessary renovations, asset replacement and repair, and new infrastructure developments.

Funding is allocated through the Lifecycle Reserves to support asset replacement and repair projects, whereas the Infrastructure Reserve is generally utilized to fund enhancements or new development projects.

The Lifecycle Arena Reserve and Lifecycle Pool Reserve have sufficient balances and annual allocations to fund the proposed scheduled projects outlined in the 2023 -2026 Capital Works Plan.

Background

The 2023 – 2026 Arena and Pool Capital Works Plan defines long-term capital goals through the prioritization of assets within respective facilities that serves as a beneficial method in support of necessary projects and upgrades and assists in financial forecasting while striving to maintain a consistent and desired level of service.

The repair and replacement of capital assets as identified in this report are intended to improve the operation and functionality of the Arena and Pool facilities, ensuring public safety, and producing adequate services, in addition to a continued focus on reducing utility consumption of both facilities respectively.

Currently, an assessment of the Arena facility is in progress that evaluates the building envelope and its performance under current conditions. The purpose of the assessment is to identify and reduce energy loss through interior compartmentalization efforts which in return provides financial savings while also improving occupant safety and comfort. Following the completion of the assessment, the recommended improvements will then be incorporated into the capital works schedule accordingly.

At the December 14, 2021, Regular Meeting of Council, an alternative strategy for the Town's Multi-Use SportsPlex was presented and supported in principle as set out in Report CRS-2021-18 capturing priority elements including a triple gymnasium, artificial turf fields and upgrades to the Lacasse Ball Diamond.

The triple gymnasium project identified in the alternative strategy was presented to Council under scenario 2 in the Community and Recreation Services Capital priorities presentation on March 29th. Because this project requires the support of upper levels of government as well as local organization support and potentially debt-financing, it is not included in the 2023-26 plan at this time. The project scope for the triple gymnasium will also include parking lot expansion and storm water management, and the Cardio Rehab Centre partnership with Hotel Dieu Grace Healthcare. Administration is pursuing

Council's direction to seek upper-level government support for this SportsPlex component prior to its inclusion in the Capital Plan.

Comments

The following outlines the 2023 – 2026 Capital Works Plan for the Arena and Pool facilities and as summarized in Attachment 1:

Arena – 2023

Arena Roof Refurbishment \$150,000

- This project will capture the remaining elements as outlined in the recommendations from the roof assessment performed in 2020.

Annual General Lifecycle Repairs \$20,000

- Annually, \$20,000 is budgeted to address minor capital projects and repairs that have not been specifically identified. Unforeseen circumstances may arise that require attention, such as pump and motor replacements, and air handling unit emergency failures, etc. Any use of the Annual General Lifecycle Repairs Allocation will be reported to Council through the regular budget variance reporting.

Arena - 2024

Rehabilitation of Front Entrance Apron \$150,000

- The surface is constructed of paver stones and current conditions require improvement to alleviate deterioration from uneven grounds and avoid risks thereof. A new concrete surface will generally improve the overall aesthetics while ensuring patron safety and accessibility.

Replacement of Evaporative Condenser \$200,000

- This equipment is a vital component of the refrigeration plant operation. The replacement will enhance the operation in conjunction with other supporting mechanisms and improve overall efficiency.

Annual General Lifecycle Repairs \$20,000

- Annually, \$20,000 is budgeted to address minor capital projects and repairs that have not been specifically identified. Unforeseen circumstances may arise that require attention, such as pump and motor replacements, and air handling unit emergency failures, etc. Any use of the Annual General Lifecycle Repairs

Allocation will be reported to Council through the regular budget variance reporting.

Arena - 2025

Rink A and Rink B Dehumidifier Unit Replacement \$250,000

- Both units will be at the expected end of life. A detailed analysis will be performed prior to proceeding with this replacement.

Replacement of Compressor #1 \$85,000

- All four (4) compressors within the refrigeration plant are original and are nearing the conclusion of its lifecycle term. Compressors are a vital component and a key contributor of the refrigeration plant. Modifications and repairs have been performed to these units as a preservation measure and to extend its useful life. The replacement of compressors will follow a phased approach given the quantity and associated costs.

Dressing Room and Hallway Rubber Flooring Replacement \$200,000

- The rubber will be at its expected life cycle. A condition review will be performed to determine the extent and urgency of this replacement.

Annual General Lifecycle Repairs \$20,000

- Annually, \$20,000 is budgeted to address minor capital projects and repairs that have not been specifically identified. Unforeseen circumstances may arise that require attention, such as pump and motor replacements, and air handling unit emergency failures, etc. Any use of the Annual General Lifecycle Repairs Allocation will be reported to Council through the regular budget variance reporting.

Arena – 2026

Replacement of Compressor #2 \$85,000

- All four (4) compressors within the refrigeration plant are original and are nearing the conclusion of its lifecycle term. Compressors are a vital component and a key contributor of the refrigeration plant. Modifications and repairs have been performed to these units as a preservation measure and to extend useful life. The replacement of compressors will follow a phased approach given the quantity and associated costs.

Rink A Dasher Board Replacement \$100,000

- The dasher boards within Rink A are original and are displaying signs of wear and fatigue and have required panel replacement. This project will enhance the presentation of the facility and its functionality along with extending the life of Rink A for years to come. A condition assessment will be performed to validate the replacement prior to the commencement of this project.

Annual General Lifecycle Repairs \$20,000

- Annually, \$20,000 is budgeted to address minor capital projects and repairs that have not been specifically identified. Unforeseen circumstances may arise that require attention, such as pump and motor replacements, and air handling unit emergency failures, etc. Any use of the Annual General Lifecycle Repairs Allocation will be reported to Council through the regular budget variance reporting.

Pool – 2023

Digital Chemical Control System \$50,000

- These controls are approaching their expected end of life. There will be inspections on these controls to determine their effectiveness in controlling disinfection for the pool operation.

Coping Repairs to Concrete Surface \$7,500

- The coping segment located in the plunge area of the Lap Pool is lifting away from the side wall, creating an avenue for further deterioration. There is the possibility of further deterioration and a safety issue if not remedied in a timely manner.

Annual General Lifecycle Repairs \$20,000

- Annually, \$20,000 is budgeted to address minor capital projects and repairs that have not been specifically identified. Unforeseen circumstances may arise that require attention, such as pump and motor replacements, and air handling unit emergency failures, etc. Any use of the Annual General Lifecycle Repairs Allocation will be reported to Council through the regular budget variance reporting.

Pool – 2024

Pool Spray Feature Controls Replacement \$20,000

- These features are at their expected end of life.

Vinyl Liner for Lap Pool & Tot Pool \$300,000

- The installation of a vinyl liner provides remedies pertaining to annual and on-going maintenance, especially the continuous painting of side walls and floors of the pool. Vinyl liners are considerably lower maintenance in comparison to uncovered concrete and present a long-term strategy in mitigating reoccurring costs as they tend to use less energy and fewer chemicals while also improving user safety. The life span of commercial outdoor vinyl pool liners is between ten (10) to fifteen (15) years.

Annual General Lifecycle Repairs \$20,000

- Annually, \$20,000 is budgeted to address minor capital projects and repairs that have not been specifically identified. Unforeseen circumstances may arise that require attention, such as pump and motor replacements, and air handling unit emergency failures, etc. Any use of the Annual General Lifecycle Repairs Allocation will be reported to Council through the regular budget variance reporting.

Pool – 2025

Complete Painting of the Pool Building \$75,000

- An evaluation of the facility will be completed prior to commencement of this project.

Annual General Lifecycle Repairs \$20,000

- Annually, \$20,000 is budgeted to address minor capital projects and repairs that have not been specifically identified. Unforeseen circumstances may arise that require attention, such as pump and motor replacements, and air handling unit emergency failures, etc. Any use of the Annual General Lifecycle Repairs Allocation will be reported to Council through the regular budget variance reporting.

Pool – 2026

Interior Renovations – Upgrades of Furniture and Fixtures \$50,000

- An evaluation of furniture and fixtures within the change rooms will be completed prior to the commencement of this project.

Water Slide Restoration and/or Replacement \$150,000

- An in-depth analysis and inspection, including a structural assessment, will be conducted to determine whether restoration and replacement is necessary based on its overall condition.

Annual General Lifecycle Repairs \$20,000

- Annually, \$20,000 is budgeted to address minor capital projects and repairs that have not been specifically identified. Unforeseen circumstances may arise that require attention, such as pump and motor replacements, and air handling unit emergency failures, etc. Any use of the Annual General Lifecycle Repairs Allocation will be reported to Council through the regular budget variance reporting.

Consultations

Financial Services
Chief Administrative Officer

Financial Implications

Associated costs of each capital project item are outlined within the Comments section of this report.

The funds required for Arena and Pool are generally allocated through the Lifecycle (LC) Reserves as outlined in the attachment which provides projected Lifecycle Reserve balances for the four (4) year planning period.

Projects proposed for Council consideration are limited by LC balances available. The adequacy of annual LC contributions is reviewed regularly as part of the annual budget process and periodic Asset Management Plan update.

Link to Strategic Priorities

Applicable	2019-22 Strategic Priorities
<input checked="" type="checkbox"/>	Make the Town of Tecumseh an even better place to live, work and invest through a shared vision for our residents and newcomers.
<input checked="" type="checkbox"/>	Ensure that Tecumseh's current and future growth is built upon the principles of sustainability and strategic decision-making.
<input type="checkbox"/>	Integrate the principles of health and wellness into all of Tecumseh's plans and priorities.
<input checked="" type="checkbox"/>	Steward the Town's "continuous improvement" approach to municipal service delivery to residents and businesses.
<input type="checkbox"/>	Demonstrate the Town's leadership role in the community by promoting good governance and community engagement, by bringing together organizations serving the Town and the region to pursue common goals.

Communications

Not applicable ☒

Website ☐

Social Media ☐

News Release ☐

Local Newspaper ☐

This report has been reviewed by Senior Administration as indicated below and recommended for submission by the Chief Administrative Officer.

Prepared by:

Daniel Wolicki
Manager Facilities & Energy Management

Reviewed by:

Paul Anthony, RRFA
Director Community & Recreation Services

Reviewed by:

Tom Kitsos, CPA, CMA, BComm
Director Financial Services & Chief Financial Officer

Recommended by:

Margaret Misek-Evans, MCIP, RPP
Chief Administrative Officer

Attachment Number	Attachment Name
1	Town of Tecumseh 2023 – 2026 Arena and Pool Capital Works Plan, Appendix A and B

Appendix A - 2023 - 2026 Arena Capital Works Plan

LC Arena (1580)	2023	2024	2025	2026
Opening Balance (est.)	\$ 696,900	\$ 714,900	\$ 532,900	\$ 165,900
Budget allocation	\$ 150,000	\$ 150,000	\$ 150,000	\$ 150,000
Ice Capital Surcharge	\$ 23,000	\$ 23,000	\$ 23,000	\$ 23,000
Training Room net proceeds	\$ 14,000	\$ 14,000	\$ 14,000	\$ 14,000
Excess Arena Advertising Revenue	\$ 1,000	\$ 1,000	\$ 1,000	\$ 1,000
Funds Available	\$ 884,900	\$ 902,900	\$ 720,900	\$ 353,900
Total Committed	\$ -	\$ -	\$ -	\$ -
Balance Uncommitted	\$ 884,900	\$ 902,900	\$ 720,900	\$ 353,900
Proposed - Net Lifecycle funding required	\$ 170,000	\$ 370,000	\$ 555,000	\$ 205,000
Balance available	\$ 714,900	\$ 532,900	\$ 165,900	\$ 148,900

Arena Expenditure Forecast	2023	2024	2025	2026
Arena Roof Refurbishment	\$ 150,000	\$ -	\$ -	\$ -
Rehabilitation of Front Entrance Apron	\$ -	\$ 150,000	\$ -	\$ -
Evaporative Condenser Replacement	\$ -	\$ 200,000	\$ -	\$ -
Rink A and Rink B Dehumidifier Replacement		\$ -	\$ 250,000	\$ -
Replacement of Compressor #1	\$ -	\$ -	\$ 85,000	\$ -
Dressing Room and Hallway Rubber Flooring Replacement	\$ -	\$ -	\$ 200,000	\$ -
Replacement of Compressor #2	\$ -	\$ -	\$ -	\$ 85,000
Rink A Dasher Board Replacement	\$ -	\$ -	\$ -	\$ 100,000
Annual General Lifecycle Repairs	\$ 20,000	\$ 20,000	\$ 20,000	\$ 20,000

Total Lifecycle Expenditure Forecast	\$ 170,000	\$ 370,000	\$ 555,000	\$ 205,000
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Non Lifecycle Funding	2023	2024	2025	2026
Federal / Provincial Infrastructure Grant	\$ -	\$ -	\$ -	\$ -
Town Funding	\$ -	\$ -	\$ -	\$ -
Debt Financing	\$ -	\$ -	\$ -	\$ -
Total Non-Lifecycle Funding	\$ -	\$ -	\$ -	\$ -

Net Lifecycle Funding Required	\$ 170,000	\$ 370,000	\$ 555,000	\$ 205,000
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Appendix B - 2023 - 2026 Pool Capital Works Plan

LC Pool (1510)	2023	2024	2025	2026
Opening Balance (est.)	\$ 312,000	\$ 294,500	\$ 164,500	\$ 129,500
Budget allocation	\$ 60,000	\$ 60,000	\$ 60,000	\$ 60,000
Funds Available	\$ 372,000	\$ 354,500	\$ 224,500	\$ 189,500
Total Committed	\$ -	\$ -	\$ -	\$ -
Balance Uncommitted	\$ 372,000	\$ 354,500	\$ 224,500	\$ 189,500
Proposed - Net Lifecycle funding required	\$ 77,500	\$ 190,000	\$ 95,000	\$ 220,000
Balance available	\$ 294,500	\$ 164,500	\$ 129,500	-\$ 30,500
Pool Expenditure Forecast	2023	2024	2025	2026
Coping Repairs to Concrete Surface	\$ 7,500	\$ -	\$ -	\$ -
Digital Chemical Control System	\$ 50,000	\$ -	\$ -	\$ -
Pool Spray Feature Controls Replacement	\$ -	\$ 20,000	\$ -	\$ -
Vinyl Liner for Lap Pool & Tot Pool	\$ -	\$ 300,000	\$ -	\$ -
Complete Painting of Pool Facility	\$ -	\$ -	\$ 75,000	\$ -
Interior Renovations - Upgrades of Furniture and Fixtures	\$ -	\$ -	\$ -	\$ 50,000
Water Slide Restoration and/or Replacement	\$ -	\$ -	\$ -	\$ 150,000
Annual General Lifecycle Repairs	\$ 20,000	\$ 20,000	\$ 20,000	\$ 20,000
Total Lifecycle Expenditure Forecast	\$ 77,500	\$ 340,000	\$ 95,000	\$ 220,000
Non Lifecycle Funding	2023	2024	2025	2026
Federal / Provincial Infrastructure Grant	\$ -	\$ -	\$ -	\$ -
Town Funding	\$ -	\$ 150,000	\$ -	\$ -
Total Non-Lifecycle Funding	\$ -	\$ 150,000	\$ -	\$ -
Net Lifecycle Funding Required	\$ 77,500	\$ 190,000	\$ 95,000	\$ 220,000



The Corporation of the Town of Tecumseh

Development Services

To: Mayor and Members of Council

From: Brian Hillman, Director Development Services

Date to Council: July 12, 2022

Report Number: DS-2022-25

Subject: Active School Travel Charter for Windsor-Essex County
Windsor-Essex County Health Unit

Recommendations

It is recommended:

That report DS-2022-25, entitled “Active School Travel Charter for Windsor-Essex County: Windsor-Essex County Health Unit”, **be received**;

And that the “Active School Travel Charter for Windsor-Essex County”, as supported and promoted by the Windsor-Essex County Health Unit, **be endorsed**.

Background

The Windsor-Essex County Active School Travel Regional Committee (“Committee”) was formed by the Windsor-Essex County Health Unit (“WECHU”) and includes membership from a number of community partners, including the local school boards, Bike Windsor Essex and the County of Essex.

The Committee’s work was made possible with financial support provided by a Green Communities Canada: Ontario Active School Travel (“OAST”) grant. This grant program supports the development, promotion, and implementation of active school travel across communities in Ontario.

One of the outcomes of the Committee's work was the preparation of an Active School Travel Charter ("AST") (see Attachment 1). The AST advocates for a long-term commitment to providing support, resources, and education towards active school transportation and to encourage safe, healthy, and sustainable routes to school for students. In addition, it provides guidance on the importance of ensuring area school communities are accessible for active transportation and the promotion of such modes in order to achieve personal, environmental, and community-wide benefits.

WECHU received County Council's endorsement of the AST on May 4, 2022. After County Council's endorsement of the AST, WECHU is asking all County municipalities to also endorse the AST.

Comments

An AST Charter will help to further strengthen regional coordination and collaboration between schools, school boards, municipalities, student transportation services, and other community partners, to allow for safer and more accessible active transportation in our local communities. The AST Charter also supports and emphasizes the key principles of the County Wide Active Transportation System (CWATS) such as equity, health and well-being, environmental sustainability and community safety.

An endorsement of the AST would be another essential step in recognizing the importance of coordinated programs and policies to support the active transportation infrastructure within Windsor-Essex County.

The AST notes that active transportation is any human-powered form of transportation such as walking, cycling, wheeling, rolling, and using mobility devices.

School community members who choose active transportation benefit from:

- Lifelong habits of physical activity;
- Improved mental well-being;
- Heightened independence; and
- Stronger community connections.

Reducing the reliance on and need for an automobile to bring children to school by prioritizing active transportation modes, school buses, or public transit, provides a multitude of benefits to both students and the environment. Additionally, the reduction of traffic in school zones creates a safer environment for all users (both vehicular and pedestrian). Normalizing and promoting active and sustainable travel as the preferred choice of transportation options for students to get to school reflects the principles of Ontario's Foundation for a Healthy School. Furthermore, it creates a culture where active transportation is the norm, rather than the alternative.

The AST's goal is to encourage safe, healthy, and sustainable routes to school through its commitment to its principles and the execution of the following actions:

- Develop and support the implementation of school policies that promote active transportation;
- Incorporate active transportation policies when making municipal and school facility planning decisions;
- Conduct multi-stakeholder active transportation audits and assessments of school travel plans and neighbouring communities for safety and accessibility;
- Advocate for safety enhancements and infrastructure to encourage all modes of active travel;
- Support, promote, and participate in regional and international active travel and road safety events to encourage active transportation;
- Educate school communities about the physical and mental well-being, learning, and environmental benefits of active transportation; and
- Complete annual scans of active transportation policies and resources to provide community partners with updated information and best practices.

Tecumseh Council support for the AST would be an appropriate progression towards promoting healthy lifestyles in the community and includes objectives that are consistent with the Town's Official Plan and the Town's Transportation Master Plan. Municipal endorsement of the program will assist the WECHU in the promotion of the AST to schools in the Town of Tecumseh, which are:

- | | | |
|---|---|---|
| • A.V. Graham Elementary | • D.M. Eagle Elementary | • St. Andre Elementary |
| • St. Antoine Elementary | • St. Mary Elementary | • St. Marguerite
D'Youville Elementary |
| • St. Peter Elementary | • St. Pius X Elementary | • L'Esson Secondary |
| • Tecumseh Vista
Academy Elementary
and Secondary | • North Shore
Elementary (opening
September 2023) | • Lakeview Montessori
Elementary |

- Al-Hijra Academy
Elementary

Based on all of the foregoing, it recommended that Council endorse the “Active School Travel Charter for Windsor-Essex County”.

Consultations

Public Works & Engineering Services
 Windsor Essex County Health Unit

Financial Implications

Link to Strategic Priorities

Applicable	2019-22 Strategic Priorities
<input checked="" type="checkbox"/>	Make the Town of Tecumseh an even better place to live, work and invest through a shared vision for our residents and newcomers.
<input checked="" type="checkbox"/>	Ensure that Tecumseh’s current and future growth is built upon the principles of sustainability and strategic decision-making.
<input checked="" type="checkbox"/>	Integrate the principles of health and wellness into all of Tecumseh’s plans and priorities.
<input checked="" type="checkbox"/>	Steward the Town’s “continuous improvement” approach to municipal service delivery to residents and businesses.
<input checked="" type="checkbox"/>	Demonstrate the Town’s leadership role in the community by promoting good governance and community engagement, by bringing together organizations serving the Town and the region to pursue common goals.

Communications

Not applicable ☒

Website ☐

Social Media ☐

News Release ☐

Local Newspaper ☐

This report has been reviewed by Senior Administration as indicated below and recommended for submission by the Chief Administrative Officer.

Prepared by:

Enrico DeCecco, BA (Hons), MCIP, RPP
Planner

Reviewed by:

Chad Jeffery, MA, MCIP, RPP
Manager Planning Services & Local Economic Development

Reviewed by:

Phil Bartnik, P.Eng.
Director Public Works & Engineering Services

Reviewed by:

Brian Hillman, MA, MCIP, RPP
Director Development Services

Recommended by:

Margaret Misek-Evans, MCIP, RPP
Chief Administrative Officer

Attachment Number	Attachment Name
1.	Active School Travel Charter



ACTIVE SCHOOL TRAVEL CHARTER

Attachment 1, DS-2022-25 Active School Travel Charter

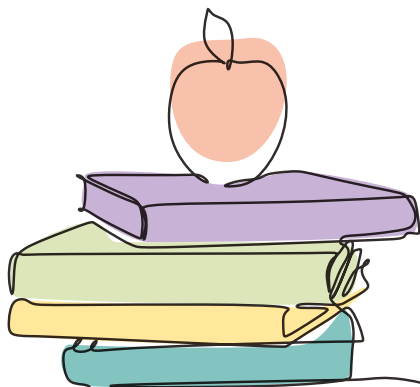
Active transportation is any human-powered form of transportation such as walking, cycling, wheeling, rolling, and using mobility devices.

School community members who choose active transportation benefit from:

- Lifelong habits of physical activity.
- Improved mental well-being.
- Heightened independence.
- Stronger community connections.

Reducing personal automobile use around schools by prioritizing active transportation modes, school buses, or public transit, improves air quality around schools.

Additionally, the reduction of traffic in school zones creates a safer environment for all users. Normalizing and promoting active and sustainable travel as the preferred choice of transportation reflects the principles of Ontario's Foundation for a Healthy School. Furthermore, it creates a culture where active transportation is the norm.





To ensure active modes of transportation are safe, convenient, and widely utilized, the WEC Active School Travel Committee recognizes the following principles:

PHYSICAL & MENTAL WELL-BEING

Utilizing active modes of transportation promotes physical and mental well-being.

EQUITY & ACCESSIBILITY

Active modes of transportation are universally affordable, which promote independence and accessibility for all users. These modes provide the community with direct access to schools.

COMMUNITY SAFETY

Using active modes of transportation for school travel strengthens one's awareness of their surroundings and feelings of safety and comfort in our neighbourhoods.

LEARNING

Daily physical activity, including active school travel, prepares students to learn more effectively.

COMMUNITY COHESION

Using active modes of transportation together creates a supportive environment that builds strong connections in our school communities.

ENVIRONMENTAL SUSTAINABILITY

Active transportation relies on human power, creating less impact on the environment, and can reduce carbon emissions when practiced by a majority of the community.



ACTIVE SCHOOL TRAVEL CHARTER

The WEC Active School Travel Committee recognizes the importance of ensuring our school communities are accessible for active transportation and the promotion of such modes. Utilizing these modes has personal, environmental, and community-wide benefits. This charter reflects the principles of the Ontario Ministry of Education's Foundations for a Healthy School, as well as Windsor-Essex County Health Unit's strategic plan for a healthy community.

This charter serves to inform a long-term commitment to providing support, resources, and education towards active school transportation. We will work together to encourage safe, healthy, and sustainable routes to school through our commitment to the aforementioned principles and the execution of the below actions.

- Develop and support the implementation of school policies that promote active transportation.
- Incorporate active transportation policies when making municipal and school facility planning decisions.
- Conduct multi-stakeholder active transportation audits and assessments of school travel plans and neighbouring communities for safety and accessibility.
- Advocate for safety enhancements and infrastructure to encourage all modes of active travel.
- Support, promote, and participate in regional and international active travel and road safety events to encourage active transportation.
- Educate school communities about the physical and mental well-being, learning, and environmental benefits of active transportation.
- Complete annual scans of active transportation policies and resources to provide community partners with updated information and best practices.





The Corporation of the Town of Tecumseh

Development Services

To: Mayor and Members of Council

From: Brian Hillman, Director Development Services

Date to Council: July 12, 2022

Report Number: DS-2022-29

Subject: Zoning By-law Amendment
Agricultural Zone Additional Residential Unit (Stand-Alone)
6715 Malden Road
Scheduling of a Public Meeting
OUR FILE: D19 6715MAL

Recommendations

It is recommended:

That the scheduling of a public meeting, on August 9, 2022 at 5:30 p.m., in accordance with the *Planning Act*, for an application seeking to amend the Zoning By-law 85-18 by rezoning a 1.74 hectare (4.29 acre) parcel of land situated on the west side of Malden Road (6715 Malden Road), approximately 900 metres (2,952 feet) south of its intersection with South Talbot Road, in order to permit a stand-alone Additional Residential Unit on the property, in accordance with subsection 4.1.2 xii) of the Tecumseh Official Plan, **be authorized**.

Executive Summary

A zoning by-law amendment application has been filed in order to change the zoning pertaining to a 1.74 hectare (4.29 acre) parcel of land situated on the west side of Malden Road (6715 Malden Road), approximately 900 metres (2,952 feet) south of its intersection with South Talbot Road, in order to permit a stand-alone Additional Residential Unit (ARU) on the property, in accordance with subsection 4.1.2 xii) of the Tecumseh Official Plan (Tecumseh OP). The recommendation in this Report is to

schedule a public meeting related to the proposed zoning by-law amendment in accordance with the requirements of the *Planning Act*.

Background

Property Location and Surrounding Land Uses

The subject 1.74 hectare (4.29 acre) parcel of land situated is on the west side of Malden Road (6715 Malden Road), approximately 900 metres (2,952 feet) south of its intersection with South Talbot Road (see Attachments 1A and 1B). The subject property is currently occupied by a 176 square metre (1,900 square foot) single-unit residential dwelling, an 80 square metre (864 square foot) detached garage associated with the residential dwelling, a 62 square metre (672 square foot) pole barn and one small utility shed. The majority of the property is used for agricultural purposes. Agricultural lands surround the subject property in all directions.

Zoning By-law Amendment Application

In recent months, the applicant has been in discussions with Town Administration regarding the proposed construction of one ARU to be located to the immediate south of the existing primary dwelling on the subject property. This ARU will be constructed to initially allow for the Applicant's mother to live in an independent stand-alone residential dwelling unit separate from the existing home which will be occupied by the Applicant. The Applicant has provided a preliminary site plan and floor plan illustrating details of the proposed ARU (see Attachments 2 and 3 respectively) which are summarized as follows:

- a one-storey, 104 square metre (1,120 square foot) ARU to be located approximately 30 metres (98 feet) to the south of the existing single-unit detached primary dwelling. An existing secondary driveway that is located to the south of the primary driveway servicing the existing residence is being proposed as the access point for the ARU in order to provide vehicular access and parking;
- the ARU comprises a one-car garage, one bedroom, one bathroom/laundry room, a living room, and a dining/kitchen area. In addition, an outdoor open front porch and patio area are proposed along the north and south side of the ARU respectively; and
- all utilities/services (gas, hydro, municipal water, etc.) other than sanitary/septic services for the ARU are proposed to be provided by connecting to the services from the existing dwelling. The ARU is proposed to be serviced by a new on-site

septic system to be designed and installed by a qualified designer/installer. The location of the new septic system will be confirmed at a later date in accordance with the Ontario Building Code. Town Administration believes that the second septic system for the ARU can be accommodated based on the size of the property. The Applicant has been advised that resolution of all servicing issues will be required prior to any building permit being issued to facilitate the construction of the ARU.

Based on the foregoing, the Applicant has filed an application with the Town to amend Zoning By-law 85-18 for the subject property to rezone the property from “Agricultural Zone (A)” to a site-specific “Agricultural Zone (A-39)” in order to facilitate the construction of the ARU, in accordance with subsection 4.1.2 xii) of the Tecumseh Official Plan (Tecumseh OP).

Comments

Provincial Policy Statement

The *Planning Act* establishes that Council, when making decisions that affect a planning matter, “shall be consistent with” the 2020 Provincial Policy Statement (“PPS”) issued under the *Planning Act*.

There are a number of policies within the PPS that support the applications for the proposed ARU. The following are the relevant excerpts from the PPS:

“1.1 Managing and Directing Land Use to Achieve Efficient and Resilient Development and Land Use Patterns

1.1.1 Healthy, livable and safe communities are sustained by:

...

- b) accommodating an appropriate affordable and market-based range and mix of residential types (including single-detached, additional residential units, multi-unit housing, affordable housing and housing for older persons)...

...

- f) improving accessibility for persons with disabilities and older persons by addressing land use barriers which restrict their full participation in society;

1.4.3 Planning authorities shall provide for an appropriate range and mix of housing options and densities to meet projected market-based and affordable housing needs of current and future residents of the regional market area by:

...

- b) permitting and facilitating:

- 1. all housing options required to meet the social, health, economic and well-being requirements of current and future residents, including special needs requirements and needs arising from demographic changes...;

In summary, the PPS encourages and supports the establishment of ARUs and offering a range of housing forms/types to meet expected needs. Based on the foregoing, it is the opinion of the writer that the application to amend the zoning by-law to facilitate the proposed ARU on the subject property is consistent with the PPS.

County of Essex Official Plan

The subject lands are situated within a rural area identified in the County Official Plan ("County OP"). With respect to ARUs, the County OP contains the following policy direction:

"3.2.8 Affordable Housing

The County supports the provision of affordable housing for low and moderate income households through the following policies:

...

- f) The County generally permits second dwelling units within all single detached, semi-detached, and townhouse dwelling units where a residential unit is not permitted in an ancillary structure to those house types on the property. If the principle residential dwelling on the property contains only a single residential unit, then an accessory structure may contain the second dwelling unit on the property.

Local municipal Official Plans and implementing Zoning By-laws will contain detailed policies and provisions relating to second dwelling units which generally support their creation, including but not limited to the following:

- i) Areas of the municipality where second dwelling units would be inappropriate such as floodprone areas or areas with inadequate servicing.
- ii) Minimum unit size, access and parking requirements.
- iii) Whether second dwelling units will be phased into new developments, at the time of development/design/construction.
- iv) The health and safety requirements for second dwelling units to be contained within an accessory structure.
- v) Garden suites.”

As noted below, the Tecumseh OP contains detailed ARU policies addressing the foregoing matters. It is the opinion of the writer that the application to amend the zoning by-law to facilitate the proposed ARU is in conformity with the County OP.

Tecumseh Official Plan

The subject property is designated Agricultural on Schedule “B” of the Tecumseh OP (see Attachment 4). Subsection 4.1.2 xii) establishes the following criteria for the establishment of a stand-alone ARU within the agricultural areas of the Town:

- “xii) a stand-alone ARU, as an ancillary use to a primary single unit dwelling, shall be permitted subject to a Zoning By-law amendment and appropriate zoning regulations being in place. The following criteria will be considered as the basis for all Zoning By-law amendments to permit a stand-alone ARU:
 - a. the ARU is subordinate to the primary dwelling on the lot;
 - b. there is no other ARU or garden suite on the property;
 - c. the ARU should use the same access as the primary single unit dwelling and be located within the cluster of existing buildings;

- d. the ARU will not be eligible for severance in the future;
- e. there are adequate services including municipal water; and
- f. other requirements such as parking, tree preservation, landscaping and the provision of amenity areas are adequately addressed;"

Based on the foregoing, it is the opinion of the writer that the application to amend Zoning By-law 85-18 to permit a stand-alone ARU on the subject property conforms to the Official Plan. With respect to the proposal to use the existing second driveway access (rather than the existing access to the primary dwelling), the Applicant has advised that it will prevent the need to construct a driveway across the yard in front of the primary dwelling. Town Administration has considered this design request and has no concerns.

Zoning By-law 85-18

The subject property is currently zoned "Agricultural Zone (A)" in Zoning By-law 85-18 (see Attachment 5). The A Zone permits the single-unit dwelling located on the property but currently does not permit an ARU. As per the requirements of the Official Plan, a stand-alone ARU proposed for the agricultural area of the Town requires an amendment to the zoning by-law.

Zoning By-law Amendment Procedures in the Tecumseh OP

Section 10.18, Amendment Procedures, of the Tecumseh OP establishes that due regard shall be given to the following matters when contemplating a zoning by-law amendment:

- i) the degree of conformity of the proposed amendment to the general intent and philosophy of this Plan, particularly the planning principles as set out in Section 2.3, and consistency with provincial policy;
 - the proposed amendment conforms to the policies of the Official Plan and, as noted earlier in this Report, is consistent with the PPS. It is important to note that the *Planning Act* also clearly establishes that ARUs are to be permitted.
- ii) the availability and suitability of land already designated for the proposed use, and the need for (or market feasibility of) the proposed use;

- the subject lands are designated to permit the use proposed by the application, subject to a zoning by-law amendment and the policies established for ARUs in agricultural areas. The proposed rezoning simply implements the policies of the Official Plan.
- iii) the compatibility of the proposal, or the adequacy of proposed mechanisms for achieving compatibility, with adjacent and planned uses;
 - Town Administration does not foresee compatibility issues arising with the establishment of the proposed ARU.
- iv) the ability of the Town's infrastructure to accommodate the proposal;
 - all utilities/services (gas, hydro, municipal water, private on-site septic system, etc.) will be required through the subsequent building permit approval process.
- v) The adequacy of the transportation system to accommodate the proposal;
 - the ARU will not create any adverse impacts on the operation of the abutting roadway network.

Evaluation of Proposed ARU Against Proposed ARU Zoning Regulations

A comparison of the proposed ARU and the draft town-wide ARU zoning regulations is provided in the table below. The proposed ARU zoning regulations are anticipated to be incorporated into the Town's municipal zoning by-law in the near future, subsequent to the public consultation process which includes a Public Meeting on August 9, 2022.

Site Design Characteristic	Administration's Draft Guidelines for Stand Alone ARUs in Agricultural Area	Proposed Stand Alone ARU
General Location	<p>Permitted in rear and interior side yards.</p> <p>Must be within 30 (98 feet) metres of primary dwelling and no closer than 3 (9.8 feet) metres.</p>	Complies with regulation.

Site Design Characteristic	Administration's Draft Guidelines for Stand Alone ARUs in Agricultural Area	Proposed Stand Alone ARU
Setbacks	Minimum 1.5 metres (4.9 feet) from side/rear lot lines.	Complies with regulation.
Size	Maximum GFA of 100 sq. m. (1,076 sq. ft.) and no greater than 50% of primary dwelling.	<p>104 sq. metres (1,120 sq. feet).</p> <p>Due to building design, the proposed ARU is marginally (4 square metres / 44 square feet) over the recommended maximum GFA. Town Administration has no concerns with the size of the proposed ARU.</p> <p>When the garage components for both the primary dwelling and ARU are deducted, the ARU is 41% of the GFA of primary dwelling.</p>
Height	Maximum of 6.5 metres (21.3 feet).	Complies with regulation.
Municipal Services	<p>One water service per lot for main dwelling and ARU.</p> <p>ARU on a private septic system must meet the requirements of the Ontario Building Code (OBC).</p>	Complies with regulation.
Parking	1 space / ARU.	Complies with regulation.

The proposed ARU's location, design, size and setbacks from lot lines are generally consistent with the draft ARU Zoning Regulations.

Summary

The proposed zoning by-law amendment is consistent with the PPS and the Planning Act and conforms to both the County OP and Tecumseh OP. Based on the foregoing, consideration of the proposed site-specific zoning by-law amendment is warranted. A public meeting to consider the rezoning in accordance with the requirements of the *Planning Act* will provide an opportunity to hear concerns and comments, if any, of neighbouring owners and public agencies. If issues arise at the Public Meeting that are not immediately resolved, a summary of the issues, along with a final recommendation on the application will follow by way of a future Planning Report. If, however, all issues are resolved, a Zoning By-law amendment by-law will be brought forward for Council's consideration at a subsequent Council Meeting.

Consultations

None

Financial Implications

None

Link to Strategic Priorities

Applicable	2019-22 Strategic Priorities
<input checked="" type="checkbox"/>	Make the Town of Tecumseh an even better place to live, work and invest through a shared vision for our residents and newcomers.
<input checked="" type="checkbox"/>	Ensure that Tecumseh's current and future growth is built upon the principles of sustainability and strategic decision-making.
<input type="checkbox"/>	Integrate the principles of health and wellness into all of Tecumseh's plans and priorities.
<input checked="" type="checkbox"/>	Steward the Town's "continuous improvement" approach to municipal service delivery to residents and businesses.
<input type="checkbox"/>	Demonstrate the Town's leadership role in the community by promoting good governance and community engagement, by bringing together organizations serving the Town and the region to pursue common goals.

Communications

Not applicable ☐

Website ☒ Social Media ☐ News Release ☐ Local Newspaper ☐

This report has been reviewed by Senior Administration as indicated below and recommended for submission by the Chief Administrative Officer.

Prepared by:

Enrico DeCecco, BA (Hons), MCIP, RPP
Planner

Reviewed by:

Chad Jeffery, MA, MCIP, RPP
Manager Planning Services & Local Economic Development

Reviewed by:

Brian Hillman, MA, MCIP, RPP
Director Development Services

Recommended by:

Margaret Misek-Evans, MCIP, RPP
Chief Administrative Officer

Attachment Number	Attachment Name
1A.	Property Location and Surrounding Land Uses Map
1B	Property Location Map – Detail View
2.	Preliminary Site Plan
3.	Preliminary ARU Floor Plan
4.	Official Plan Map
5.	Zoning Map



Prepared By:
Development Services

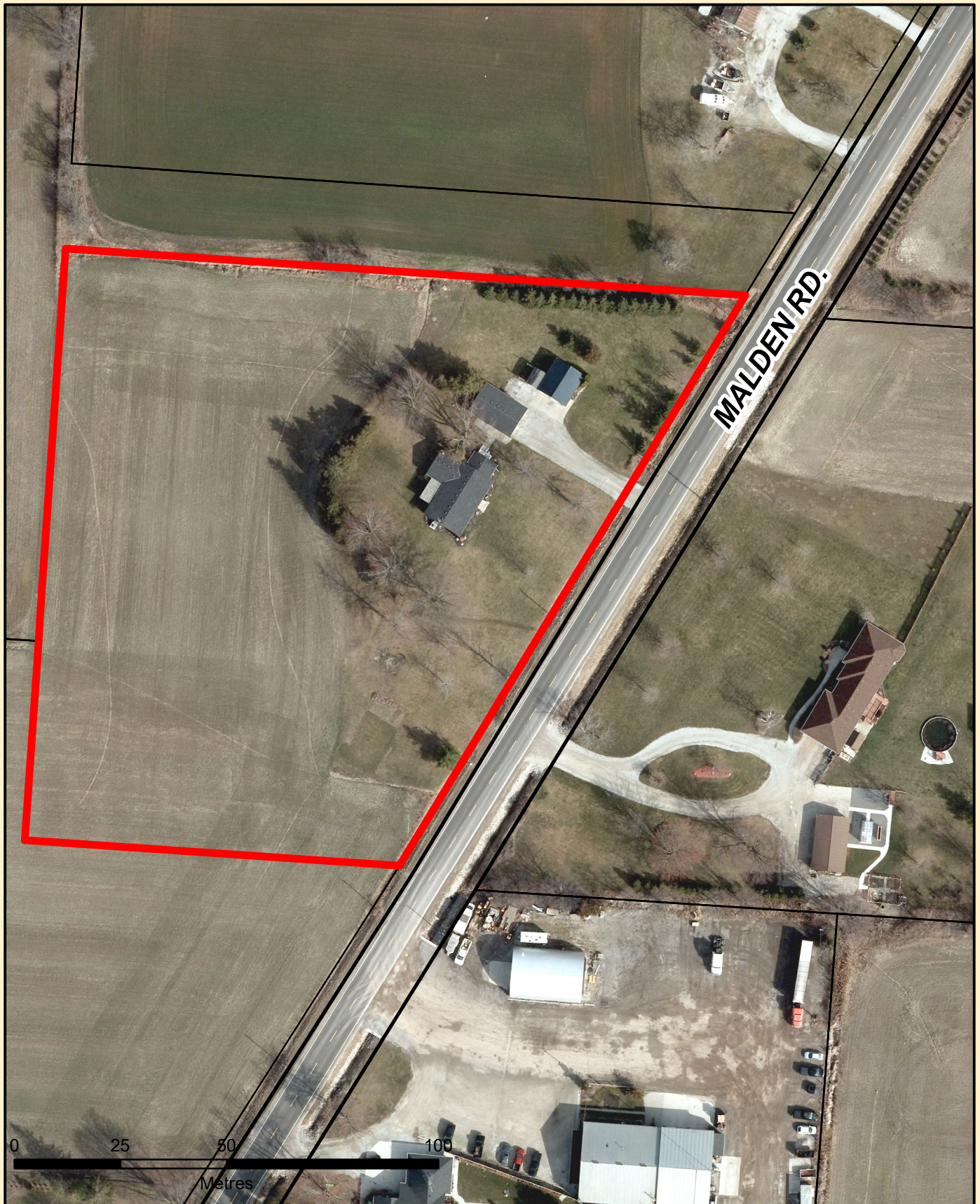


Legend:



Subject Property

Attachment 1A, DS-2022-29
Zoning By-law Amendment
6715 Malden Road
Property Location and Surrounding Land Uses



Prepared By:
Development Services

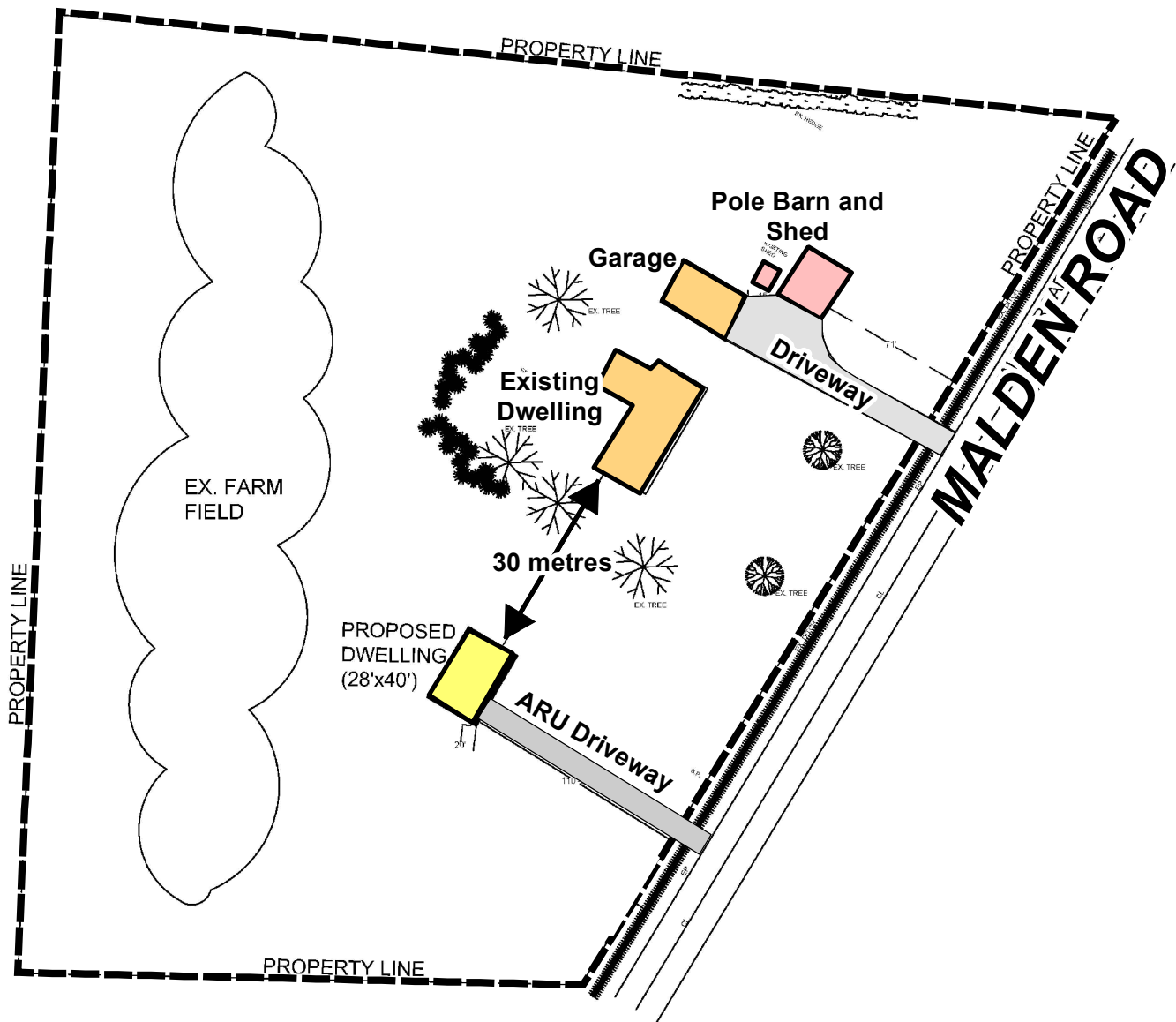


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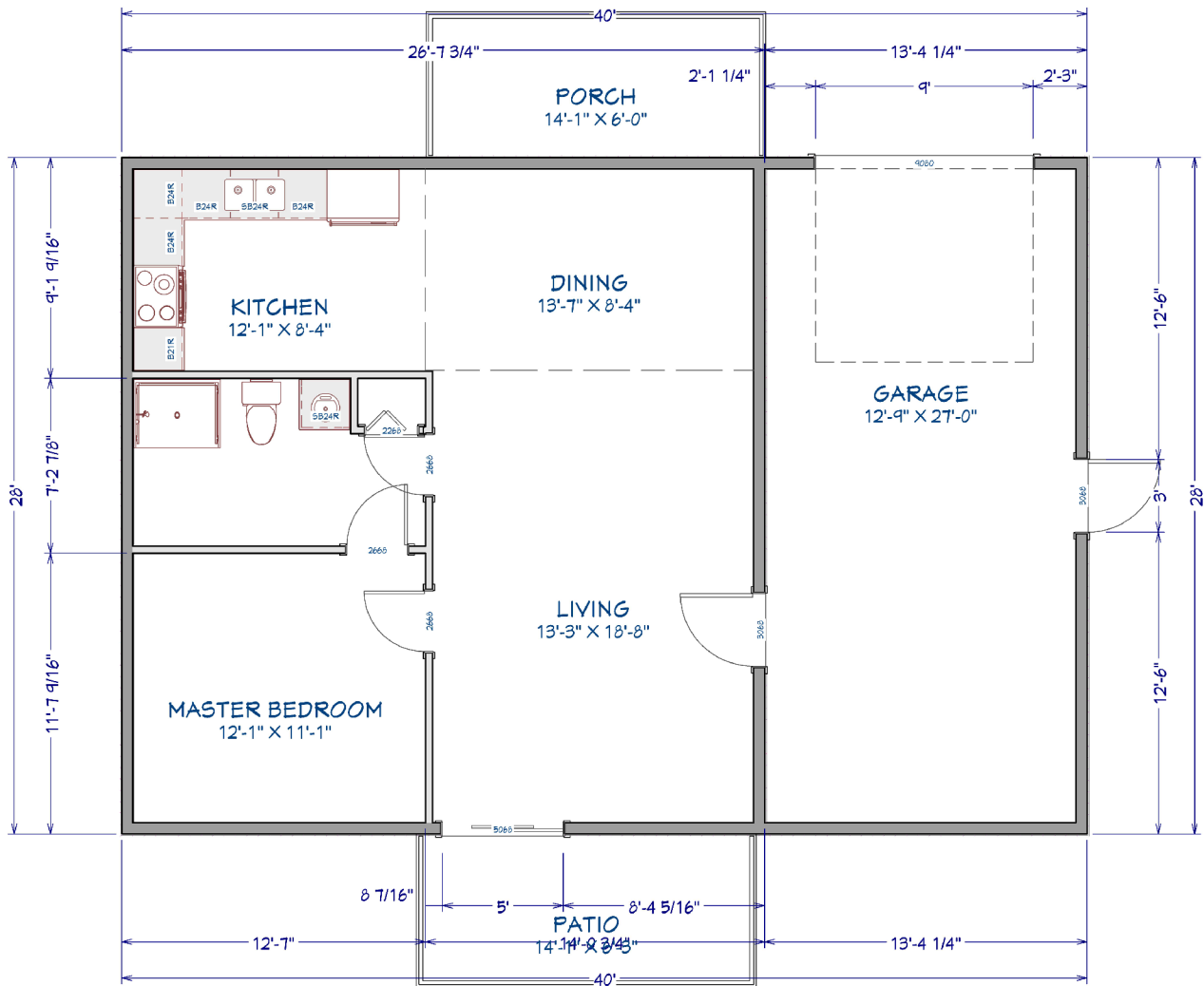
Subject Property

Attachment 1B, DS-2022-29
Zoning By-law Amendment
6715 Malden Road
Property Location, Detail View



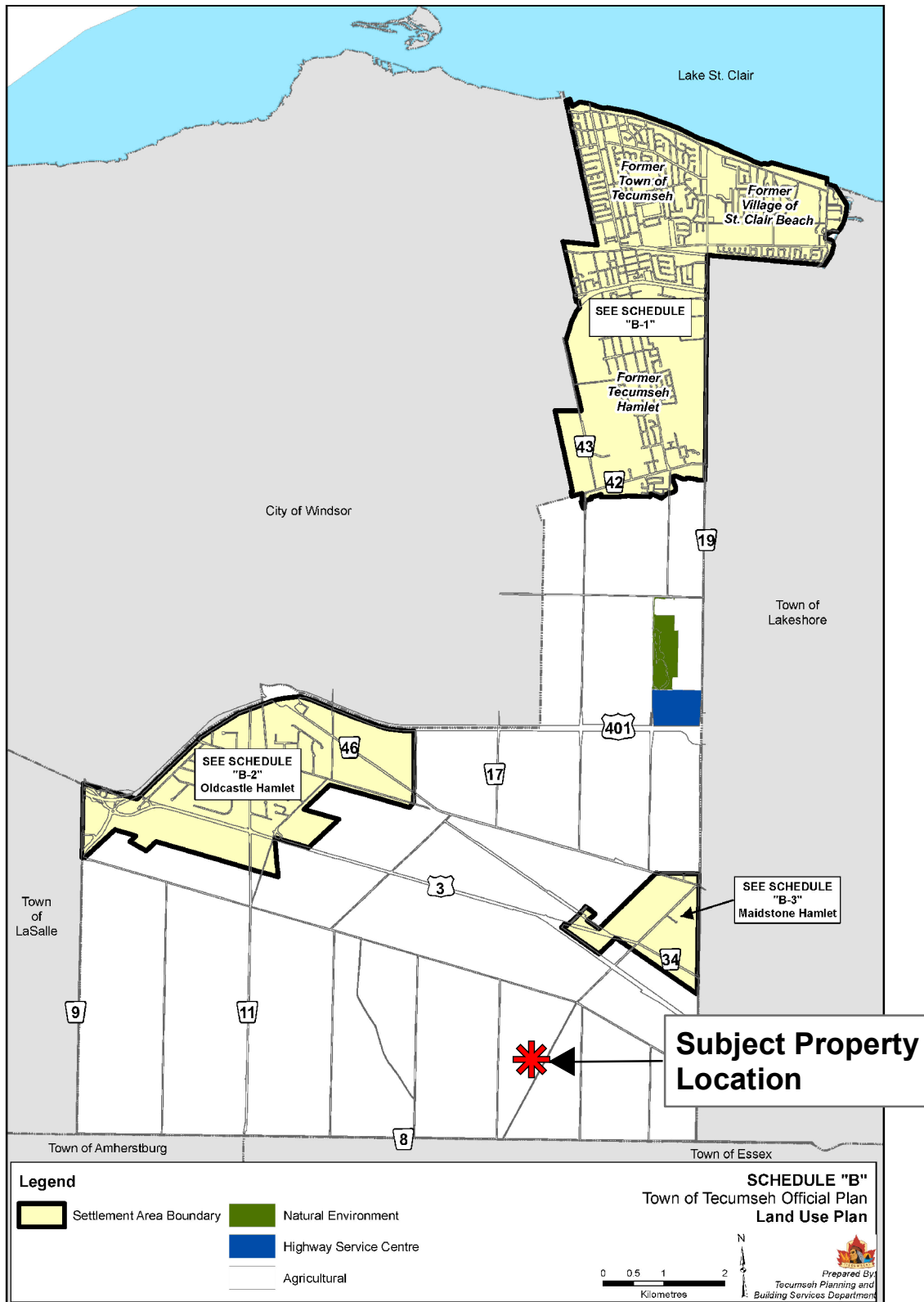
Prepared By:
Development Services

Attachment 2, DS-2022-29
Zoning By-law Amendment
6715 Malden Road
Preliminary Site Plan



Prepared By:
Development Services

Attachment 3, DS-2022-29
Zoning By-law Amendment
6715 Malden Road
Preliminary Floor Plan

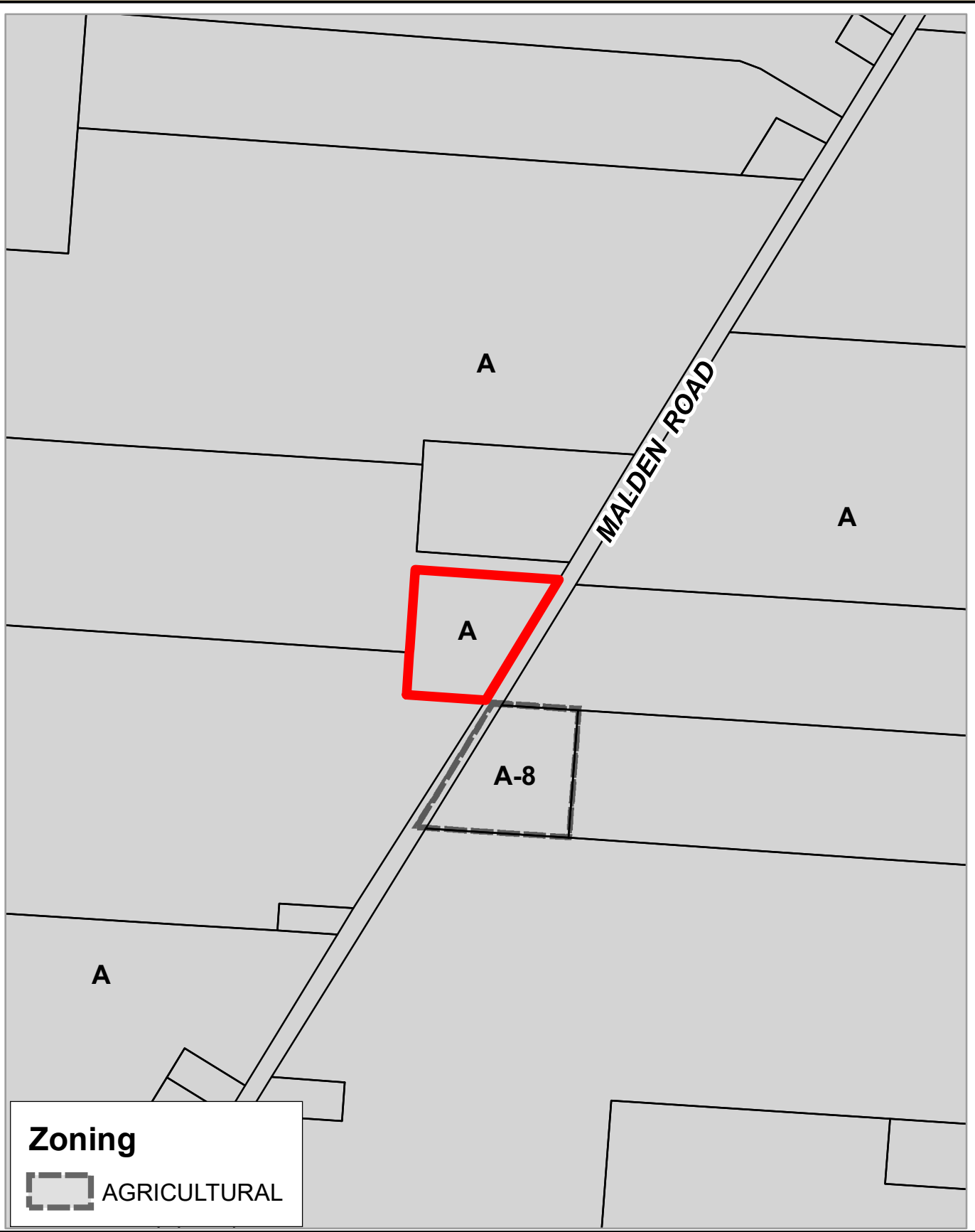


Prepared By:
Development Services



Subject Property

Attachment 4, DS-2022-29
Zoning By-law Amendment
6715 Malden Road
Official Plan



Zoning



AGRICULTURAL



Prepared By:
Development Services



Legend:



Subject Property

Attachment 5, DS-2022-29
Zoning By-law Amendment
6715 Malden Road
Zoning



The Corporation of the Town of Tecumseh

Development Services

To: Mayor and Members of Council

From: Brian Hillman, Director Development Services

Date to Council: July 12, 2022

Report Number: DS-2022-31

Subject: Zoning By-law Amendment
4155 Manning Road – Condition of Consent Application B-09-22
Scheduling of a Public Meeting
OUR FILE: D19 4155MAN

Recommendations

It is recommended:

That the scheduling of a public meeting, to be held on Tuesday, August 9, 2022, at 4:30 p.m., in accordance with the *Planning Act* for a zoning by-law amendment application submitted for a 33.23 hectare (82.11 acre) parcel of land situated on the northwest corner of the Manning Road/Baseline Road intersection (4155 Manning Road), seeking to amend Zoning By-law 85-18 by:

- i. rezoning the 0.53 hectare (1.30 acre) non-farm related residential lot (6780 Holden Road), from “Agricultural Zone (A)” to a site specific “Agricultural Zone (A-40)” in order to establish a maximum lot area of 0.53 hectares (1.30 acres); and
- ii. rezoning the 32.7 hectare (80.8 acre) agricultural parcel from “Agricultural Zone (A)” to a site specific “Agricultural Zone (A-41)” in order to prohibit a residential dwelling from being constructed,

all of which is in accordance with Condition No. 5 of Severance Application B-09-22, **be authorized.**

Background

Severance application B-09-22 was granted provisional consent by the Committee of Adjustment at its May 30, 2022 meeting. The purpose of the application was to sever a 0.53 hectare (1.30 acre) surplus dwelling lot from an agricultural property and retain a 32.7 hectare (80.8 acre) agricultural parcel located at the northwest corner of the Manning Road/Baseline Road intersection (4155 Manning Road) (see Attachments 1 and 2). The Committee determined that the application conformed to the Land Division Policies for those lands designated “Agricultural” in the Tecumseh Official Plan (Tecumseh OP).

In addition to standard conditions, the consent was granted subject to the passing of a zoning by-law amendment that would prohibit a residential dwelling from being constructed on the retained agricultural parcel and to addressing the proposed oversized surplus dwelling lot. The proposed surplus dwelling lot is marginally greater than the maximum of 0.5 hectares (1.24 acres) established for non-farm related residential lots zoned Agricultural (A) Zone in Zoning By-law 85-18. The size of the proposed surplus dwelling lot, at 0.53 hectares, was largely dictated by the existing structures and treeline on the property. No farmland would be taken out of production.

Based on the foregoing, an application to amend Zoning By-law 85-18 for the subject property (both the proposed surplus dwelling lot and the retained farm parcel) has now been filed with the Town proposing the following:

- i. rezoning of the 0.53 hectare (1.30 acre) non-farm related residential lot (4155 Manning Road), from “Agricultural Zone (A)” to a site specific “Agricultural Zone (A-40)” in order to establish a maximum lot area of 0.53 hectares (1.30 acres); and
- ii. rezoning of the 32.7 hectare (80.8 acre) agricultural parcel from “Agricultural Zone (A)” to a site specific “Agricultural Zone (A-41)” in order to prohibit a residential dwelling from being constructed.

Comments

Provincial Policy Statement, 2020

The *Planning Act* establishes that Council, when making decisions that affect a planning matter, “shall be consistent with” the 2020 Provincial Policy Statement (“PPS”) issued under the *Planning Act*. The PPS establishes the following land division policy for surplus dwelling severances on Agricultural lands:

“2.3.4 Lot Creation and Lot Adjustments

2.3.4.1 Lot creation in prime agricultural areas is discouraged and may only be permitted for:

...

- c) a residence surplus to a farming operation as a result of farm consolidation, provided that:
 - 1. the new lot will be limited to a minimum size needed to accommodate the use and appropriate sewage and water services; and
 - 2. the planning authority ensures that new residential dwellings are prohibited on any remnant parcel of farmland created by the severance. The approach used to ensure that no new residential dwellings are permitted on the remnant parcel may be recommended by the Province, or based on municipal approaches which achieve the same objective.”

The subject rezoning is intended to satisfy the condition that a new residential dwelling is prohibited on the vacant retained farm parcel created by application B-09-22. It is the opinion of the writer that the proposed rezoning is consistent with the PPS.

County of Essex Official Plan

The subject property is situated within the Agricultural area identified in the County Official Plan (County OP). As with the PPS, the County OP permits the creation of a lot to accommodate a residence surplus to a farming operation as a result of farm consolidation subject to the local Zoning By-law being amended to prohibit a new residential dwelling on the remnant parcel of farmland created by the severance. Accordingly, it is the opinion of the writer that the proposed rezoning conforms to the County OP.

Tecumseh Official Plan

The subject property is designated “Agricultural” on Schedule “B” of the Tecumseh OP (see Attachment 3). Similar to the policies of the PPS, subsection 6.4.1 of the Official Plan establishes the following:

“6.4.1 Agricultural Severances

On those lands designated Agricultural, consents may only be permitted if they are in accordance with the following additional land division policies:

...

ii) Surplus Dwelling

A consent may be granted to sever a dwelling unit that is considered surplus to the needs of the farming operation as a result of the acquisition of additional farm property provided:

...

- b. the size of the surplus dwelling lot is in compliance with the Town's Zoning By-law and is not greater than 0.5 hectares in area, except where natural or man-made features or servicing requirements dictate otherwise;
- c. as a condition of the consent, the retained farm parcel will be rezoned to prohibit a residential dwelling from being constructed upon it.”

As noted above, the marginally oversized surplus dwelling lot is dictated by the existing structures and treeline on the property. Although there are no concerns with the proposed surplus dwelling lot size, the consent policies, under subsection 6.4 iv), state:

- “iv) consents shall be granted only if they comply with the provisions of the Town's Zoning By-law. Where a by-law amendment or minor variance is necessary, it shall be a condition of the decision.”

The foregoing policies encourage the conservation and preservation of land for agricultural purposes and agricultural related uses. The proposed rezoning ensures that the retained farm parcel is not used for future residential use and it facilitates the creation of the surplus dwelling lot by establishing a marginal increase in the maximum lot area as dictated by the location of existing structures on the property. Based on the foregoing, it is the opinion of the writer that the proposed rezoning conforms with the Tecumseh OP.

Zoning

The subject property is currently zoned Agricultural Zone (A) (see Attachment 4), which permits agricultural and agricultural related uses, including a single unit dwelling. In order to conform to subsection 2.3.4.1 c) of the PPS and subsection 6.4.1 ii) of the Tecumseh OP, and to satisfy the aforementioned condition of severance application B-09-22, it is necessary to place the retained farm parcel in a site-specific Agricultural Zone that will allow the full range of agricultural uses but prohibit the construction of a residential dwelling. Further, to address the marginally oversized surplus dwelling lot, it will need to be placed in a site-specific Agricultural Zone that will establish a maximum lot area of 0.53 hectares (1.30 acres).

Summary

The proposed zoning by-law amendment is in keeping with the PPS and conforms to the County OP and Tecumseh OP. If adopted, the rezoning will fulfill one of the conditions of consent for application B-09-22. A public meeting to consider the rezoning in accordance with the requirements of the *Planning Act* will provide an opportunity to hear concerns and comments, if any, of neighbouring owners and public agencies. If issues arise at the Public Meeting that are not immediately resolved, a summary of the issues, along with a final recommendation on the application will follow by way of a future Planning Report. If, however, all issues are resolved, a Zoning By-law amendment by-law will be brought forward for Council's consideration at a subsequent Council Meeting. It should be noted that no concerns on the proposed severance were received through the separate public consultation process held by the Committee of Adjustment.

Consultations

None

Financial Implications

None

Link to Strategic Priorities

Applicable	2019-22 Strategic Priorities
<input checked="" type="checkbox"/>	Make the Town of Tecumseh an even better place to live, work and invest through a shared vision for our residents and newcomers.
<input checked="" type="checkbox"/>	Ensure that Tecumseh's current and future growth is built upon the principles of sustainability and strategic decision-making.
<input type="checkbox"/>	Integrate the principles of health and wellness into all of Tecumseh's plans and priorities.
<input type="checkbox"/>	Steward the Town's "continuous improvement" approach to municipal service delivery to residents and businesses.
<input type="checkbox"/>	Demonstrate the Town's leadership role in the community by promoting good governance and community engagement, by bringing together organizations serving the Town and the region to pursue common goals.

Communications

Not applicable ☐

Website ☒ Social Media ☐ News Release ☐ Local Newspaper ☐

This report has been reviewed by Senior Administration as indicated below and recommended for submission by the Chief Administrative Officer.

Prepared by:

Enrico DeCecco, BA (Hons), MCIP, RPP
Planner

Reviewed by:

Chad Jeffery, MA, MCIP, RPP
Manager Planning Services & Local Economic Development

Reviewed by:

Brian Hillman, MA, MCIP, RPP
Director Development Services

Recommended by:

Margaret Misek-Evans, MCIP, RPP
Chief Administrative Officer

Attachment Number	Attachment Name
1.	Property Location Map
2.	Approved Consent Application Sketch
3.	Official Plan Map
4.	Zoning Map



Prepared By:
Development Services

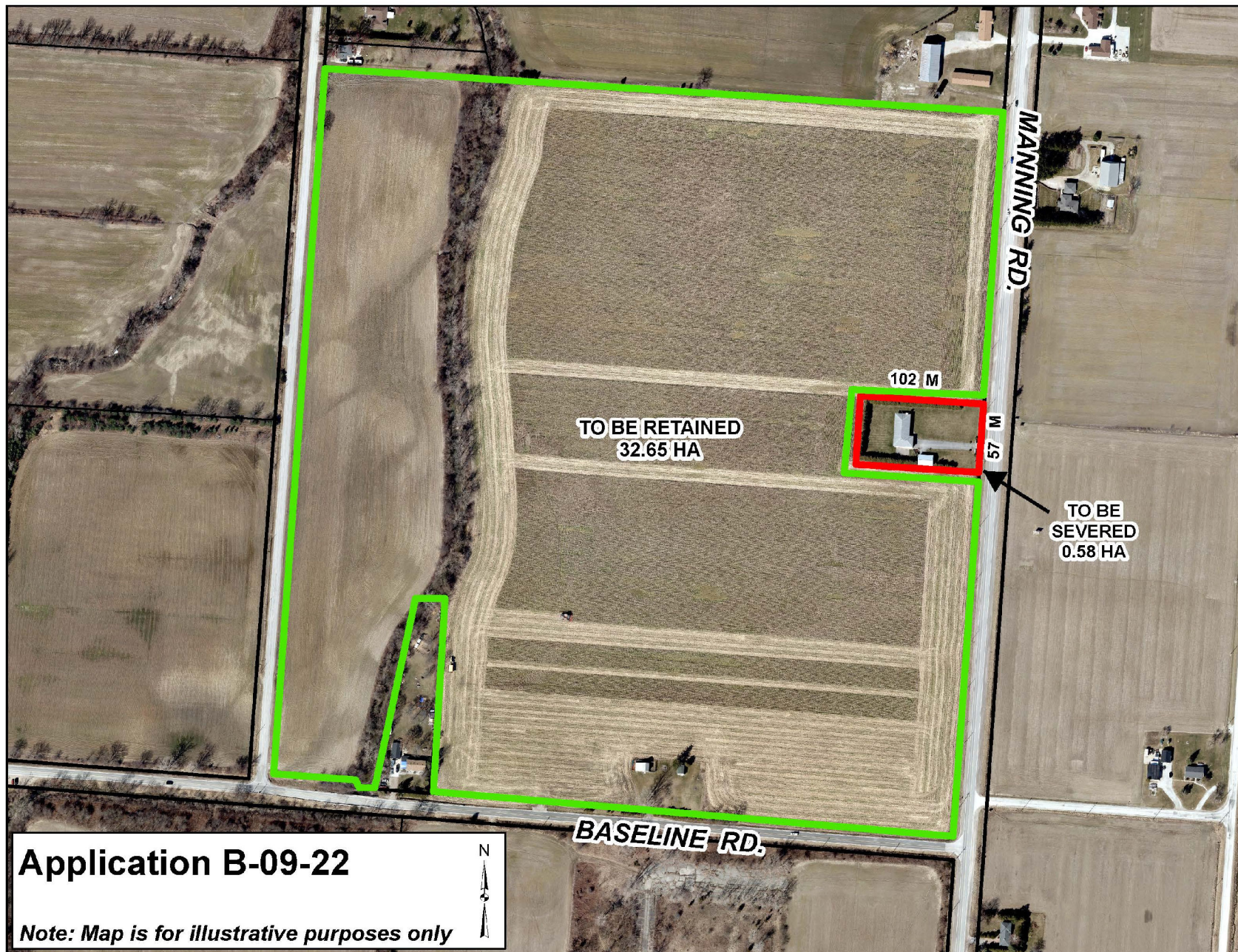


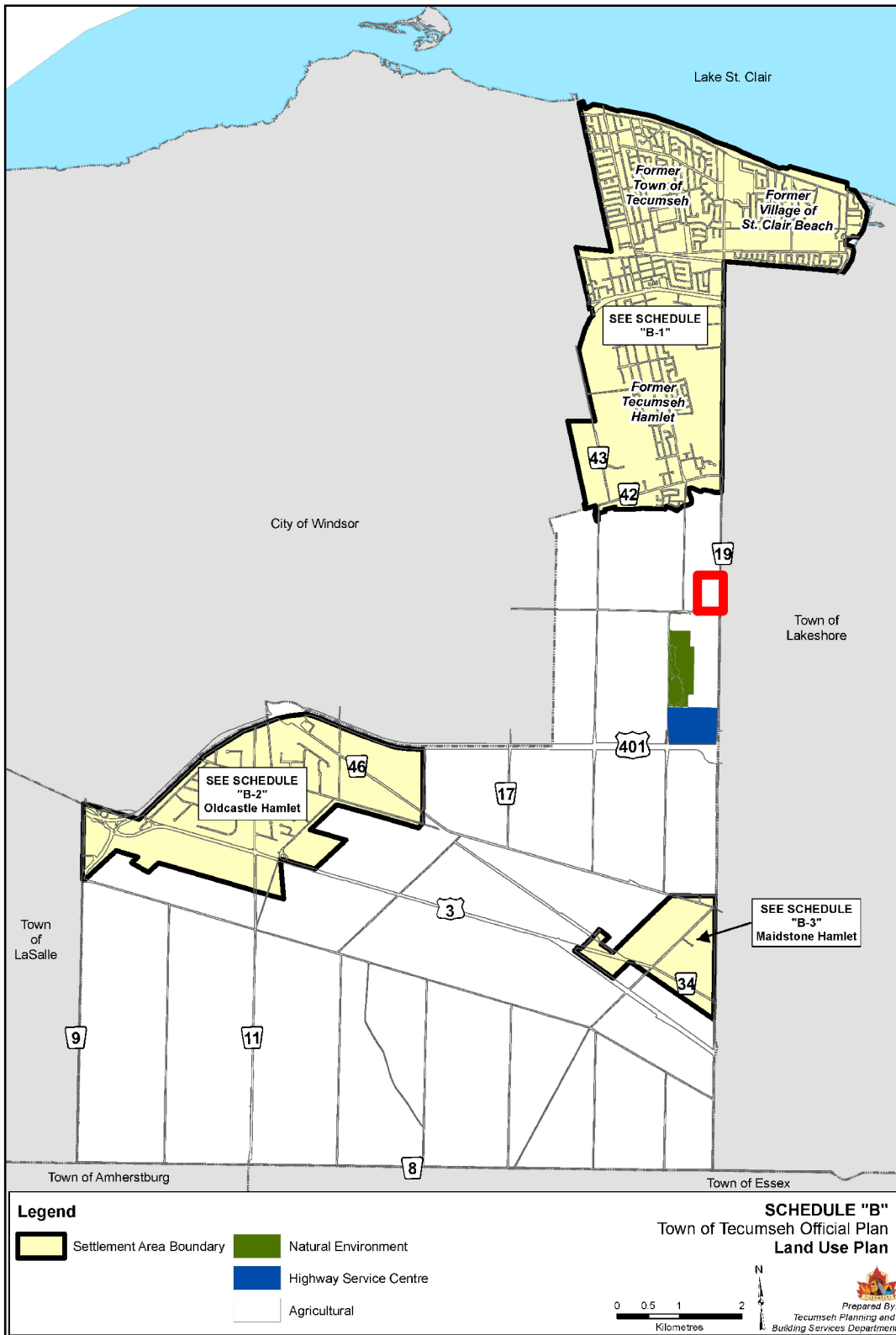
Legend:



Subject Property

Attachment 1, DS-2022-31
Zoning By-law Amendment
Condition of Consent B-09-22
4155 Manning Road
Property Location



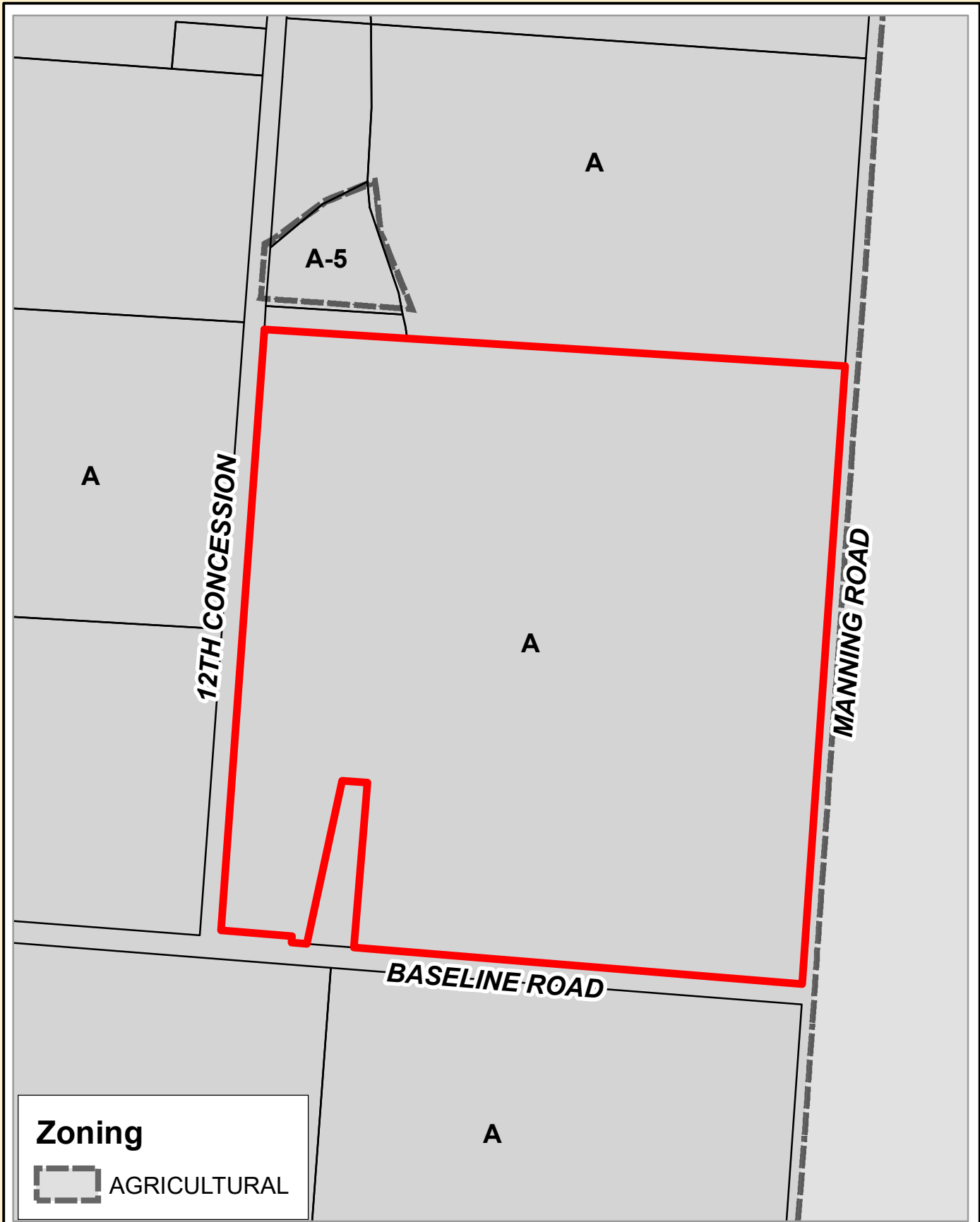


Prepared By:
Development Services



Subject Property

Attachment 3, DS-2022-31
Zoning By-law Amendment
Condition of Consent B-09-22
4155 Manning Road
Official Plan





The Corporation of the Town of Tecumseh

Financial Services

To: Mayor and Members of Council

From: Tom Kitsos, Director Financial Services & Chief Financial Officer

Date to Council: July 12, 2022

Report Number: FS-2022-06

Subject: 2023 Business Plan and Budget Timetable

Recommendations

It is recommended:

That the proposed 2023 Business Plan and Budget Timetable, as follows, **be approved:**

Public engagement	September 12 – 30, 2022
Table proposed business plan and budget	December 13, 2022
Council deliberations	TBD January, 2023
Council consideration and adoption	January 24, 2023

Background

The purpose of this report is to approve the 2023 Business Plan and Budget Timetable.

Included within this timetable is a strategy to encourage public awareness and engagement in the budget process. Through advertisement on the Town's website and social media, residents will be encouraged to participate in our eighth annual Budget Survey. The survey will be available on our website from September 12 – September

30. Alternatively, residents can obtain a printed version upon request during that same timeframe.

A summary of survey results will be posted on the website by October 6, allowing for an opportunity to consider suggestions and/or concerns in the budget development process.

Comments

Generally, Council and Administration set a timetable that can achieve an adopted budget in December. During election years, Council and Administration set a timetable that can achieve an adopted budget in January/February.

With 2022 being an election year, the timetable proposed for the 2023 operating, lifecycle and reserve budget is:

Public engagement	September 12 – 30, 2022
Table proposed business plan and budget	December 13, 2022
Council deliberations	TBD January, 2023
Council consideration and adoption	January 24, 2023

The main advantages of adopting the annual budget early are:

- Departments may proceed with budgeted service delivery and work plan management as early in the year as possible, and
- Allows for earlier variance analysis and thus provides more time to adjust in-year to adverse circumstances which may arise.

Some disadvantages of adopting the annual budget early are:

- County and School Board levies will not be known, and
- ERCA and EWSWA budgets will not be known.

Administration recommends Council approve the proposed Business Plan and Budget Timetable seeking adoption in January. Adoption in January allows Council and Administration to confidently commence service/program delivery early in 2023 and maximize utilization of the budget calendar.

Consultations

All Departments

Financial Implications

None

Link to Strategic Priorities

Applicable	2019-22 Strategic Priorities
<input checked="" type="checkbox"/>	Make the Town of Tecumseh an even better place to live, work and invest through a shared vision for our residents and newcomers.
<input checked="" type="checkbox"/>	Ensure that Tecumseh's current and future growth is built upon the principles of sustainability and strategic decision-making.
<input checked="" type="checkbox"/>	Integrate the principles of health and wellness into all of Tecumseh's plans and priorities.
<input checked="" type="checkbox"/>	Steward the Town's "continuous improvement" approach to municipal service delivery to residents and businesses.
<input checked="" type="checkbox"/>	Demonstrate the Town's leadership role in the community by promoting good governance and community engagement, by bringing together organizations serving the Town and the region to pursue common goals.

Communications

Not applicable ☒

Website ☐

Social Media ☐

News Release ☐

Local Newspaper ☐

This report has been reviewed by Senior Administration as indicated below and recommended for submission by the Chief Administrative Officer.

Prepared by:

Vanessa DaDalt, CPA, CA
Deputy Treasurer & Manager Revenue Services

Reviewed by:

Zora Visekruna, MBA
Deputy Treasurer & Manager Financial Services

Recommended by:

Margaret Misek-Evans, MCIP, RPP
Chief Administrative Officer

Attachment Number	Attachment Name
None	None



The Corporation of the Town of Tecumseh

Public Works & Engineering Services

To: Mayor and Members of Council

From: Phil Bartnik, Director Public Works & Engineering Services

Date to Council: July 12, 2022

Report Number: PWES-2022-35

Subject: Request for Repair and Improvement to the Branch of the South Talbot & Holden Outlet Drain – Appointment of Drainage Engineer

Recommendations

It is recommended:

That Dillon Consulting Ltd. **be appointed** drainage engineer to make an examination of the Branch of the South Talbot & Holden Outlet Drain drainage area as submitted by the landowner in the “Notice of Request for Drainage Improvement” dated April 19, 2022;

And that a Drainage Report **be prepared** in accordance with Section 78 of the *Drainage Act*, including provisions for future maintenance.

Background

The purpose of this report is to provide a summary of the background and other information to assist Council in appointing an engineer to examine the drainage area on the Branch of the South Talbot & Holden Outlet Drain (Drain).

The Drain is located on the east side of Holden Road commencing south of South Talbot Road and flowing southerly to its outlet into the Merrick Creek Drain. Please refer to Attachment No. 1 for the Drain location map.

Comments

A request was submitted for a new driveway culvert to provide access over the Drain as part of a land severance at 6780 Holden Road. The Request for Improvement initiates the process to update the current By-Law and provide an access bridge over the Drain. The Drain was last examined by Dillon Consulting Ltd. and improvements were made in 2015 under By-Law 2015-42.

Legislation

The sections of the *Drainage Act* referenced within this report are included in Schedule A, which is attached to this Council Report as Attachment No. 2.

Required Approvals

On June 6, 2022, the Town sent notification to the Essex Region Conservation Authority (ERCA) that the Town received a request for the repair and improvement of the Drain. As outlined in Section 78(2) of the Act, the Engineer shall not be appointed until after the 30-day notification to the Conservation Authority that has regulation of the area. This administrative report is in line with those provisions and the 30-day period expired on July 6, 2022.

The Town will be required to conduct a self-assessment with respect to the requirements of the Department of Fisheries and Oceans Canada (DFO) to determine if this project will require a formal review by DFO for issues related to the federal *Fisheries Act* and/or the federal *Species at Risk Act*.

The Drain may contain significant species (aquatic species at risk (SAR) as well as plants, animals, habitat, etc.) that are protected under the provincial *Endangered Species Act* (ESA). As of April 1, 2019, the administration of the ESA transitioned responsibility from the Ministry of Natural Resources and Forestry (MNRF) to the Ministry of Environment, Conservation and Parks (MECP). Though the responsibility has transitioned to the MECP, the Town's Species-At-Risk (SAR) Mitigation plan continues to comply with the ESA. As such, the Town, along with its contractors, gathers data with respect to information on any encountered species and/or mitigation plans implemented before and during construction for all registered municipal drainage works permitted under Section 23.9 of Ontario Reg. 242/08. Annual reports may be requested by the MECP.

Appointment of Engineer

It is recommended that Dillon Consulting, Ltd., be appointed Drainage Engineer to the Drain to produce an updated report for the requested access culvert that will include the watershed boundary, plan and profiles, and updated construction and future maintenance Assessment Schedules.

Consultations

Dillon Consulting Ltd.

Financial Implications

There are no financial implications associated with this report.

The Engineer's Report shall assess for Special Benefit, Benefit, Outlet and Liability. A schedule of assessment is to be contained in the report which details in separate columns, the sums assessed for each parcel of land/utility liable for drainage assessments under the Act.

Link to Strategic Priorities

Applicable	2019-22 Strategic Priorities
<input type="checkbox"/>	Make the Town of Tecumseh an even better place to live, work and invest through a shared vision for our residents and newcomers.
<input checked="" type="checkbox"/>	Ensure that Tecumseh's current and future growth is built upon the principles of sustainability and strategic decision-making.
<input type="checkbox"/>	Integrate the principles of health and wellness into all of Tecumseh's plans and priorities.
<input checked="" type="checkbox"/>	Steward the Town's "continuous improvement" approach to municipal service delivery to residents and businesses.
<input type="checkbox"/>	Demonstrate the Town's leadership role in the community by promoting good governance and community engagement, by bringing together organizations serving the Town and the region to pursue common goals.

Communications

Not applicable ☒

Website ☐

Social Media ☐

News Release ☐

Local Newspaper ☐

This report has been reviewed by Senior Administration as indicated below and recommended for submission by the Chief Administrative Officer.

Prepared by:

Alessia Mussio, E.I.T.
Drainage Superintendent

Reviewed by:

John Henderson, P.Eng.
Manager Engineering Services

Reviewed by:

Phil Bartnik, P.Eng.
Director Public Works & Engineering Services

Recommended by:

Margaret Misek-Evans, MCIP, RPP
Chief Administrative Officer

Attachment Number	Attachment Name
1	Branch of the South Talbot & Holden Outlet Drain Map
2	Schedule A – Drainage Act Excerpts

The Corporation of the Town of Tecumseh

Municipal Drains Map

Branch of South Talbot-Holden

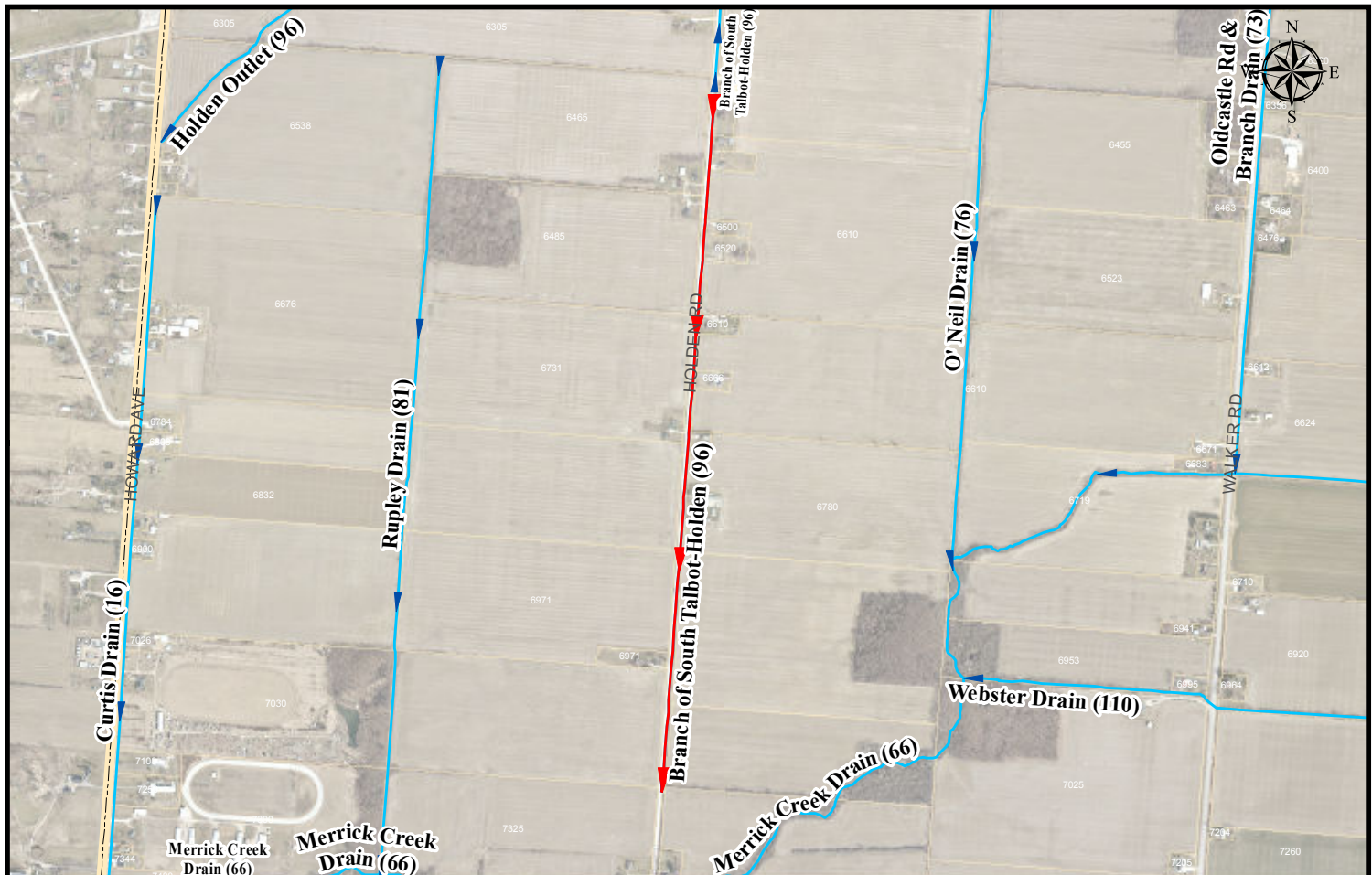


Dept. of Engineering
and Environmental Services
Municipal Drains Division

BY-LAWS

38/1895- 139/1902- 369/1915 -888/1942- 1216/1957 - 1239/1958 -78-33 - 28/1979 - 47/2006 - 24/2009 - 40/2009 - 67/2013

MAP LOCATION



DISCLAIMER

The information within this map is provided "as is" without warranty of any kind, either expressed or implied, including but not limited to the implied warranties of merchantability and fitness for a particular purpose. The Corporation of the Town of Tecumseh assumes no liability for any alleged or actual, incidental or consequential damages resulting from the furnishing, performance or use of this map.

**OUTLET
NAME**

96 Canard River

Drain
Number

96

Date Printed: June, 2021

Legislation

Petition

4 (1) A petition for the drainage by means of a drainage works of an area requiring drainage as described in the petition may be filed with the clerk of the local municipality in which the area is situate by,

- (a) the majority in number of the owners, as shown by the last revised assessment roll of lands in the area, including the owners of any roads in the area;
- (b) the owner or owners, as shown by the last revised assessment roll, of lands in the area representing at least 60 per cent of the hectarage in the area;
- (c) where a drainage works is required for a road or part thereof, the engineer, road superintendent or person having jurisdiction over such road or part, despite subsection 61 (5);
- (d) where a drainage works is required for the drainage of lands used for agricultural purposes, the Director. R.S.O. 1990, c. D.17, s. 4 (1).

Form of petition

(2) A petition under subsection (1) shall be in the form prescribed by the regulations and, where it is filed by an owner or owners under clause (1) (a) or (b), shall be signed by such owner or owners. R.S.O. 1990, c. D.17, s. 4 (2).

Petition where area lies on each side of boundary line

(3) Where it is desired to construct a drainage works for the drainage of an area composed of lands or roads lying on each side of a boundary line between two or more local municipalities, the council of any of them may proceed upon a petition as required by this Act in all respects, including the sending of notices, as if such area were entirely within the limits of the municipality. R.S.O. 1990, c. D.17, s. 4 (3).

Person deemed owner

(4) Where a person who is the owner of land, but does not appear by the last revised assessment roll of the municipality to be the owner, is a petitioner, the person shall be deemed an owner if the person's ownership is proved to the satisfaction of the clerk, and, if the person who appears by the assessment roll to be the owner is a petitioner, the person's name shall be disregarded in determining the sufficiency of the petition. R.S.O. 1990, c. D.17, s. 4 (4).

Persons jointly assessed

(5) Where two or more persons are jointly assessed for a property, in determining the sufficiency of a petition, they shall be deemed to be one owner. R.S.O. 1990, c. D.17, s. 4 (5).

Section 25(1) – Engineer may assess a block, etc.

The council of the local municipality may direct the engineer to assess as a block, a built-up area designated by the council, and the sum assessed therefor may be levied against all the ratable properties in the designated area proportionately on the

basis of the assessed value of the land and buildings.

Section 25(2) – Assessments to be charged against public roads

Where the engineer makes a block assessment under subsection (1), the engineer shall designate the proportion of the assessment to be charged against the public roads in the designated area.

Section 26 – Increased cost, how borne

In addition to all other sums lawfully assessed against the property of a public utility or road authority under this Act, and despite the fact that the public utility or road authority is not otherwise assessable under this Act, the public utility or road authority shall be assessed for and shall pay all the increase of cost of such drainage works caused by the existence of the works of the public utility or road authority.

Section 41(1) – Notice of drainage works

Upon the filing of the engineer's report, the council of the initiating municipality, if it intends to proceed with the drainage works, shall, within thirty days of the filing of the report, cause the clerk of the initiating municipality to send a copy of the report and a notice stating,

- 1) the date of the filing of the report;
- 2) the name or other designation of the drainage works; and
- 3) the date of the council meeting at which the report will be considered, to;
 - a) the owners, in the initiating municipality, as shown by the last revised assessment roll to be the owners of lands and roads assessed for the drainage works or for which compensation or other allowances have been provided in the report;
 - b) the clerk of every other local municipality in which any land or road that is assessed for the drainage works or for which compensation or other allowances have been provided in the report is situate;
 - c) the secretary-treasurer of each conservation authority that has jurisdiction over any land affected by the report;
 - d) any railway company, public utility or road authority affected by the report, other than by way of assessment;
 - e) the Minister of Natural Resources where land under his or her jurisdiction may be affected by the report; and
 - f) the Director.

Section 41(3) – Copy of report not required

Despite subsections (1) and (2), where a block assessment is made, the notice to the owners of the lands so assessed need not be accompanied by a copy of the report.

Section 41(3.1) – Same

Despite subsections (1) and (2), the council of a local municipality is not required to send a copy of the report to owners of lands and roads assessed for a sum of less than \$100.

Section 42 – Consideration of report

The council of the initiating municipality at the meeting mentioned in section 41 shall consider the report, and, where the drainage works is requested on petition, shall give an opportunity to any person who has signed the petition to withdraw from it by filing a signed withdrawal with the clerk and shall also give those present owning lands within the area requiring drainage who have not signed the petition an opportunity to do so, and should any of the lands or roads owned by the municipality within the area requiring drainage as described in the petition be assessed, the council may by resolution authorize the head of the municipality to sign the petition for the municipality, and such signature counts as that of one person in favour of the petition.

Section 65(1) – Subsequent subdivision of land

If, after the final revision of an engineer's assessment of land for a drainage works, the land is divided by a change in ownership of any part, the clerk of the local municipality in which the land is situate shall instruct an engineer in writing to apportion the assessment among the parts into which the land was divided, taking into account the part of the land affected by the drainage works.

Section 65(2) – Agreement on share of assessment

If the owners of the subdivided land mutually agree on the share of the drainage assessment that each should pay, they may enter into a written agreement and file it

with the clerk of the local municipality and, if the agreement is approved by the council by resolution, no engineer need be instructed under subsection (1).

Section 76(1) - Varying original assessments for maintenance

The Council of any local municipality liable for contribution to a drainage works in connection with which conditions have changed or circumstances have arisen such as to justify a variation of the assessment for maintenance and repair of the drainage works may make an application to the Tribunal, of which notice has been given to the head of every other municipality affected by the drainage works, for permission to procure a report of an engineer to vary the assessment, and, in the event of such permission being given, such council may appoint an engineer for such purpose and may adopt the report but, if all the lands and roads assessed or intended to be assessed lie within the limits of one local municipality, the council of that municipality may procure and adopt such report without such permission.

Section 76(2) – Proceedings on report of engineer

The proceedings upon such report, excepting appeals, shall be the same, as nearly as may be, as upon the report for construction of the drainage works.

Section 76(3) – Appeal from report of engineer

Any council served with a copy of such report may, within 45 days of such service, appeal to the Tribunal from the finding of the engineer as to the portion of the cost of the drainage works for which the municipality is liable.

Section 76(4) – Appeal from assessment

Any owner of land assessed for maintenance or repair may appeal from the assessment in the report on the grounds and in the manner provided by Section 52 in the case of the construction of the drainage works.

Section 76(5) – Basis of future assessments

An assessment determined under this section shall thereafter, until it is further varied, form the basis of any assessment for maintenance or repair of the drainage works affected thereby.

Section 78(1) – Improving, upon examination and report of engineer

If a drainage works has been constructed under a by-law passed under this Act or any predecessor of this Act, and the council of the municipality that is responsible for maintaining and repairing the drainage works considers it appropriate to undertake one or more of the major improvement projects listed in subsection (1.1) for the better use, maintenance or repair of the drainage works or of lands or roads, the municipality may undertake and complete the project in accordance with the report of an engineer appointed by it and without the petition required by section 4. 2010, c.16, Sched. 1, s. 2 (27); 2020, c. 18, Sched. 4, s. 9 (1).

Section 78(1.1) – Projects

The projects referred to in subsections (1) are:

- 1) 1. Changing the course of the drainage works.
- 2) 2. Making a new outlet for the whole or any part of the drainage works.
- 3) 3. Constructing a tile drain under the bed of the whole or any part of the drainage works.
- 4) 4. Constructing, reconstructing or extending embankments, walls, dykes, dams, reservoirs, bridges, pumping stations or other protective works in connection with the drainage works.
- 5) 5. Extending the drainage works to an outlet.
- 6) 5.1 Improving or altering the drainage works if the drainage works is located on more than one property.
- 7) 6. Covering all or part of the drainage works.
- 8) 7. Consolidating two or more drainage works.
- 9) 8. Any other activity to improve the drainage works, other than an activity prescribed by the Minister as a minor improvement. 2010, c. 16, Sched. 1, s. 2 (27); 2020, c. 18, Sched. 4, s. 9 (2-4).

Section 78(2) – Notice to conservation authority

2) An engineer shall not be appointed under subsection (1) until 30 days after a notice has been sent to the following persons advising them of the municipality's intent to undertake the major improvement project:

1. The secretary-treasurer of each conservation authority that has jurisdiction over any lands that would be affected by the project.
2. The prescribed persons. 2020, c. 18, Sched. 4, s. 9 (5).

Section 78(3) – Powers and duties of engineer

(3) The engineer has all the powers and shall perform all the duties of an engineer appointed with respect to the construction of a drainage works under this Act. R.S.O. 1990, c. D.17, s. 78 (3).

Section 78(4) – Proceedings

(4) All proceedings, including appeals, under this section shall be the same as on a report for the construction of a drainage works. R.S.O. 1990, c. D.17, s. 78(4).

Minor improvements to drainage works

(5) Despite subsections (2) to (4), the Minister may prescribe the process for approving minor improvements to a drainage works mentioned in paragraph 8 of subsection (1.1). 2020, c. 18, Sched. 4, s. 9 (6).

AMENDMENTS TO ENGINEER'S REPORT

84.1 (1) This section applies with respect to engineer's reports that are prepared for

the purpose of a petition under section 4 or for the purpose of section 78 and that are adopted by a municipal by-law. 2020, c. 18, Sched. 4, s. 10.

Approval process

(2) The Minister may, by regulation, set out the process by which the engineer's report may be amended and the process by which those amendments are to be approved. 2020, c. 18, Sched. 4, s. 10.

Section Amendments with date in force (28/09/2021)

The Corporation of the Town of Tecumseh

By-Law Number 2022 - 052

Being a bylaw to provide for the repair and improvements to the South Talbot Road Drain East and 12th Line Drain

Whereas the Council of The Corporation of the Town of Tecumseh (hereafter "Town") has been requested to provide for the repair and improvement of the South Talbot ;

And Whereas the Town procured a Drainage Report for the South Talbot and specifications from the consulting engineering firm of R. Dobbin Engineering Inc., dated May 18, 2022 (hereafter "Drainage Report");

And Whereas notice of a Public Meeting to hear comments from the affected property owners was given on Monday, June 20, 2022;

And Whereas a Public Meeting of Council was held on Tuesday, July 12, 2022, at 6:00 pm to hear from any affected property owners on the Drainage Report;

And Whereas the Council of The Corporation of the Town of Tecumseh is of the opinion that the repair and improvement of the South Talbot is desirable;

Now Therefore the Council of The Corporation of The Town of Tecumseh Enacts as follows:

1. **That** the Drainage Report providing for the repair and improvement of the South Talbot , dated May 18, 2022, as prepared by the consulting engineering firm R. Dobbin Engineering Inc. and attached hereto as Schedule "A" to this by-law, is hereby adopted and the drainage works as therein indicated and set forth is hereby approved and shall be completed in accordance therewith.
2. **That** the Treasurer, subject to the approval of Council, may agree with any bank or person for temporary advances of money to meet the costs of construction pending the completion of the drain and grants and computed payments are received.
3. **That** the Town may issue debentures for the amount borrowed and the amount of such debentures shall be reduced to the total amount of:
 - a) Grants received under Section 85 of the said Act;
 - b) Commuted payments made in respect of land and roads assessed.
4. **That** such debentures shall be made payable within five (5) years from the date of the debenture and shall bear interest at a rate as approved by resolution of Council.

5. **That** the specifications and General Specifications as established are adopted as set out in the Drainage Report which forms part of this by-law.
6. **That** the Mayor and Clerk are authorized to cause a contract for the construction of the works to be made and entered into with some person or persons, firm or corporations, subject to the approval of the Council to be declared by resolution.
7. **That** this by-law shall come into force upon and after the final passing thereof.

Read a first and second time this 12th day of July, 2022.

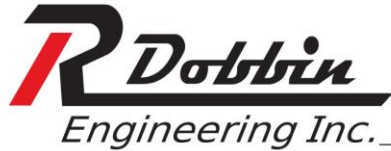
Gary McNamara, Mayor

Jennifer Alexander, Acting Clerk

Read a third and final time this **Choose an item.** day of **Choose an item.**, 2022.

Gary McNamara, Mayor

Jennifer Alexander, Acting Clerk



4218 Oil Heritage Road
 Petrolia, Ontario, N0N 1R0
 Phone: (519) 882-0032 Fax: (519) 882-2233
 www.dobbineng.com

May 18, 2022

The Mayor and Council
 The Town of Tecumseh
 917 Lesperance Road
 Tecumseh, Ontario
 N8N 1W9

Gentlemen and Mesdames:

Re: South Talbot Road Drain East and 12th Line Drain

In accordance with your instructions, we have undertaken an examination of the South Talbot Road Drain and 12th Line Drain in the Town of Tecumseh.

Authorization under the Drainage Act

This Engineer's Report has been prepared under Section 78 of the Drainage Act.

Section 78 of the Drainage Act states that, where, for the better use, maintenance or repair of any drainage works constructed under a bylaw passed under this Act, or of lands or roads, it is considered expedient to change the course of the drainage works, or to make a new outlet for the whole or any part of the drainage works, or to construct a tile drain under the bed of the whole or any part of the drainage works as ancillary thereto, or to construct, reconstruct or extend embankments, walls, dykes, dams, reservoirs, bridges, pumping stations, or other protective works as ancillary to the drainage works, or to otherwise improve, extend to an outlet or alter the drainage works or to cover the whole or any part of it, or to consolidate two or more drainage works, the Council whose duty it is to maintain and repair the drainage works or any part thereof may, without a petition required under Section 4 but on the report of an Engineer appointed by it, undertake and complete the drainage works as set forth in such report.

Background

The South Talbot Road Drain East outlets into the Malden Road East Drain at the southeast corner of the Malden Road and South Talbot Road intersection. It continues as an open channel southeasterly along the south side of South Talbot Road for 2,263m to the southwest corner of the South Talbot Road and Manning Road intersection. The 12th Line Drain outlets into the South Talbot Road Drain East at the southeast corner of the South Talbot Road and Concession Road 12 intersection. It continues as an open channel

southerly along the east side of Concession Road 12 for 1,543m to the northeast corner of the Concession Road 12 and County Road 8 intersection.

The South Talbot Road Drain East and the 12th Line Drain were both last improved under an Engineer's Report dated October 15, 1980. Under this report the 12th Line Drain was cleaned and the South Talbot Road Drain East was cleaned from its outlet to the 12th Line Drain. Also under this report, culverts now numbered Culvert No. 3 of the South Talbot Road Drain East and Culvert No. 2 of the 12th Line Drain, were lowered.

Drain Classification

The South Talbot Road Drain East and 12th Line Drain are both currently classified as a class "F" drain according to the Department of Fisheries and Oceans (DFO) classification as presented by the Ontario Ministry of Agriculture, Food and Rural Affairs' Agricultural Information Atlas.

Class "F" drains are intermittent or ephemeral (dry for more than two consecutive months).

The drain will require approval from the Essex Region Conservation Authority and the Department of Fisheries and Oceans. Construction cannot commence without necessary approvals.

On Site Meeting

An onsite meeting was held virtually on July 9th, 2021. The following were present:

- Josh Warner (Engineer, R. Dobbin Engineering)
- Sam Paglia (Drainage Superintendent, Town of Tecumseh)
- David Holek (Landowner)
- Rick Chapman (Landowner)
- Wayne Farough (Landowner)

The following is a brief summary of the onsite meeting:

- Landowners were made aware that R. Dobbin Engineering has been appointed under Section 78 of the Drainage Act to prepare a report for the installation of an access culvert in Pt. of Lot 2 and 3, Concession 12.
- It was stated that the existing maintenance schedule for the drain is out of date. The Landowners present agreed that updating the maintenance schedule for both drains, analyzing all the culverts along the length of the drainage works and replacing as required or providing provisions for future replacement would be to the benefit of the drain.

- The Landowner requesting the culvert requested a 20' top width and specified the location to be at the tree line on the property.
- Landowners were made aware that a Public Information Centre (PIC) will be held following the report completion for Landowners to voice their concerns and questions.
- Access culverts will be sized to a 1:5-year storm event and will typically have a length necessary to provide a 6m top width. Length requested or required beyond that will be assessed to the Landowner.
- Each property is permitted one access that will have cost sharing. Any costs associated with additional culverts will be at the cost of the individual Landowner.

Existing Conditions

Below is a summary of the condition of the existing culverts:

SOUTH TALBOT ROAD DRAIN EAST			
Location	Culvert Number	Condition	Recommendation
Roll Number 4410-000051	1	Good, Replaced in 2007	Leave
Concession Road 11	2	Poor – very little cover, small turning radius at east end and has been crushed, rust below spring line	Replace
Roll Number 4400-000012	3	Okay to Poor– rust below the spring line. No holes found	Leave, short term replacement
Roll Number 4400-000013	4	Okay	Leave
Concession Road 12	5	Okay	Leave
Roll Number 4400-000056	6	No Existing Culvert. Culvert is Proposed	Install New
Roll Number 4400-000056	7	Okay- rust and holes right at the west end, but remainder is in okay shape.	Leave
Roll Number 4400-000056-05	8	Poor to Fair – holes and rust	Replace

12th LINE DRAIN			
Location	Culvert Number	Condition	Recommendation
Roll Number 4400-000058-50	1	Okay to Poor-rust throughout but no holes found	Leave
Roll Number 4400-000059	2	Okay	Leave

Public Information Centre (PIC)

A public meeting was held virtually on April 22, 2022. Prior to this meeting all Landowners received the draft report. The following were present at the PIC:

- Josh Warner (Engineer, R. Dobbin Engineering)
- Sam Paglia (Drainage Superintendent, Town of Tecumseh)
- Alessia Mussio (Assistant Drainage Superintendent, Town of Tecumseh)
- Brian Hyland (Landowner)
- David Holek (Landowner)
- Ken Hebert (Landowner)
- Rick Chapman (Landowner)
- Wayne Farough (Landowner)

The following is a brief summary of the meeting:

- Brian Hyland expressed concerns with establishing the buffer strip as part of the drain and felt that it could be installed outside of the drainage act at a cheaper cost. Brian was going to reach out to OMAFRA, ERCA and others to investigate doing it outside of the report and would get back to Town staff and the engineer.

On May 18, 2022, the Town of Tecumseh said to proceed with the report with the inclusion of the buffer strips.

Design

The access culverts shall be designed to provide outlet for a 1 in 5-year storm event. The road culverts shall be designed to provide outlet for a 1 in 25-year storm event.

Recommendations

It is therefore recommended that, under this report, the following work be carried out:

1. A future grade line shall be established for the South Talbot Road Drain East (STRDE) and 12th Line Drain. A portion of the South Talbot Road Drain East shall be cleaned out to accommodate a proposed culvert as the area has filled in with sediment.
2. The culverts along the length of the drainage works shall be replaced as required and future specifications shall be developed for the remaining culverts.
3. A 1.5m wide buffer strip shall be established along the south side of the South Talbot Road Drain East and along the east side of the 12th Line Drain for the entire length of each drain.

Estimate of Cost

It is recommended that the work be carried out in accordance with the accompanying Specification of Work and Profile that forms part of this Report. There has been prepared an Estimate of Cost in the amount of \$154,554.00, including engineering of the report, attending the Meeting to Consider the Report, attending the Court of Revision and estimates for tendering, construction inspection, permitting and contract administration. Appearances before appeal bodies have not been included in the cost estimate.

Assessment

As per Section 21 of the Drainage Act, the Engineer in his report shall assess for benefit and outlet for each parcel of land and road liable for assessment.

Lands, roads, buildings, utilities, or other structures that are increased in value or are more easily maintained as a result of the construction, improvement, maintenance, or repair of a drainage works may be assessed for benefit. (Section 22)

Lands and roads that use a drainage works as an outlet, or for which, when the drainage works is constructed or improved, an improved outlet is provided either directly or indirectly through the medium of any other drainage works or of a swale, ravine, creek, or watercourse may be assessed for outlet. The assessment for outlet shall be based on the volume and rate of flow of the water artificially caused to flow into the drainage works from the lands and roads liable for such assessments. (Section 23)

The Engineer may assess for special benefit any lands for which special benefits have been provided by the drainage works. (Section 24)

A Schedule of Assessment for the lands and roads affected by the work and therefore liable for the cost thereof has been prepared as per the Drainage Act. Also, assessments may be made against any public utility or road authority, as per Section 26 of the Drainage Act, for any increased cost for the removal or relocation of any of its facilities and plant that may be necessitated by the construction or maintenance of the drainage works. Items to be assessed under Section 26 shall be tendered as a separate item in the contract documents with the actual cost plus a portion of the engineering (20% of the construction cost) being assessed to the public utility or road authority.

All additional costs to work around utilities not included in the estimate shall be tracked separately and the cost plus a portion of the engineering (20% of the construction cost) shall be borne by that utility.

The cost of any approvals, permits or any extra work, beyond that specified in this report that is required by any utility, conservation authority, government ministry or organization (federal or provincial), or road authority shall be assessed to that organization requiring the permit, approval, or extra work.

The proposed work has generally been assessed in the following manner, including all estimated fees, taxes and disbursements:

1. As per Section 26 of the Drainage Act the roads and utilities have been assessed the increased cost of the drainage works caused by the existence of the works of the public utility or road authority. The road crossings (Culvert No. 2 and 5) and traffic control on South Talbot Road have been assessed with 100% of the estimated cost/engineering being assessed as a special benefit assessment to the road authority. It is not anticipated that any utilities will conflict with the proposed drainage improvements. Any utilities that do conflict with the proposed improvements shall be assessed as per above. The replacement of Culvert No. 2 and the traffic control on South Talbot Road shall be tendered separately with the actual cost plus a portion of the engineering (20% of the construction cost) being assessed to the owner of the utility or road.
2. The engineering cost of Culvert No. 1 has been assessed with 80% of the cost applied as a benefit assessment to the owner of the abutting road (South Talbot Road), 10% applied as benefit assessment to the owner of the property, and the remainder of the cost has been assessed as outlet assessment to upstream lands and roads based on equivalent hectares.
3. The cost of Culvert No. 6 has been assessed with 100% of the cost applied as special benefit assessment to the requesting Landowner as it is a secondary access to the property.
4. The replacement/engineering cost for the remaining culverts (No. 3, 4, 7 & 8 on the STRDE and No. 1 & 2 on the 12th Line Drain) has been assessed with 45% of the cost applied as benefit assessment to the owner of the property, 10% applied as a benefit assessment to the owner of the abutting road (South Talbot Road and Concession Road 12) and the remainder to upstream lands and roads based on equivalent hectares.
5. The remainder of the open channel improvements have generally been assessed with 10% of the cost applied as a benefit assessment to the owner of the abutting road (South Talbot Road and Concession Road 12), 45% applied as benefit assessment to the owner of the property, and the remainder of the cost has been assessed as outlet assessment to upstream lands and roads based on equivalent hectares.

Allowances

Under Section 29 of the Drainage Act, the Engineer in his Report shall estimate and allow in money to the Owner of any land that it is necessary to use for the construction or improvement of a drainage works or for the disposal of material removed from drainage works. This shall be considered an allowance for right-of-way.

Under Section 30 of the Drainage Act, the Engineer shall determine the amount to be paid to persons entitled thereto for damage, if any, to ornamental trees, lawns, fences, land and crops occasioned by the disposal of material removed from a drainage works. This shall be considered an allowance for damages.

Allowances have been made, where appropriate, as per Section 29 of the Drainage Act for right-of-way and as per Section 30 of the Drainage Act for damages to lands and crops. Allowances for right of way are based on a land value of \$30,000.00 per hectare. Allowances for crop loss are based on \$2,000.00 per hectare for the first year, \$1,000.00 for the second year (\$3,000.00 per hectare total).

Access and Working Area

Access to the work site for construction and future maintenance of the South Talbot Road Drain East and 12th Line Drain shall be from South Talbot Road, Concession Road 11 and Concession Road 12, across the access culverts and along the drainage works. The working area for construction and maintenance shall be restricted to a width of 15m from the top of bank where the work is taking place. The excavation shall generally be done from the field side of the channel except across finished lawns. Across finished lawns, the excavation shall generally be done from the road side with the excavated material being trucked off site.

The working area at each culvert shall extend 10 metres from the bank on both sides and for 10 metres along the channel on either side of the culvert.

Restrictions

No trees and shrubs shall be planted nor shall permanent structures be erected within 15m of either side of the proposed drain without prior written permission of Council.

Attention is also drawn to Sections 80 and 82 of the Drainage Act, which refer to the removal of obstructions in a drain and damage caused to a drain.

Agricultural Grant

If available, it is recommended that application for subsidy be made for eligible agricultural properties. Any assessments against non-agricultural properties are shown separately in the Schedule of Assessment.

Maintenance

The open channel shall be maintained and repaired in the same relative portions as contained in the applicable Schedule of Maintenance. Maintenance shall be done in accordance with the enclosed specifications and profiles unless otherwise altered under provisions of the Drainage Act.

For future maintenance and repair of the open channel, the excavated material across finished lawns shall be trucked and disposed offsite by the Contractor. The cost of trucking across finished lawns less the equivalent cost of levelling, shall be assessed to the individual property. Agricultural properties that wish to have the excavated material trucked will be assessed the cost of trucking less the cost of levelling. The cost of levelling will form part of the drain maintenance cost.

The buffer strips are to extend 1.5 metres from the top of the bank on the south side of the channel on the South Talbot Road Drain East and the east side of the channel for the 12th Line Drain. If the buffer strip extends less than this due to encroaching cropping practices, the buffer strip shall be maintained with 100% of the cost assessed to the Landowner. Otherwise, the buffer strip shall be maintained and repaired in the same relative portions as contained in the applicable Schedule of Maintenance.

The culverts shall be maintained and repaired as follows, with outlet being assessed based on equivalent hectares as contained in the applicable Schedule of Maintenance:

SOUTH TALBOT ROAD DRAIN EAST			
Culvert Number	Benefitting Landowner	Road Authority	Outlet
1	10%	80% (South Talbot Road)	10%
2		100% (Concession Road 11)	
3, 4, 7 & 8	45%	10% (South Talbot Road)	45%
5		100% (Concession Road 12)	
6	100%		

12TH LINE DRAIN			
Culvert Number	Benefitting Landowner	Road Authority	Outlet
1 & 2	45%	10% (Concession Road 12)	45%

The cost of asphalt or concrete repair or replacement shall be borne by the benefitting Landowner.

Each property is allowed one access culvert for each municipal drain with any second culvert on the property maintained and repaired 100% by the owner.

Yours truly,



Josh Warner, P. Eng.
R. Dobbin Engineering Inc.



ALLOWANCES

Allowances have been made as per Sections 29 and 30 of the Drainage Act for right of way and for damages to lands and crops.

Conc.	Lot or part	Roll No.	Owner	Section 29	Section 30	Total
10	Pt. Lot 4	4410-000049	A. Deehan	370	50	420
11	Pt. Lot 2 & 3	4400-000014	W. & I. Farough	1,320	-	1,320
	Pt. Lot 3	4400-000013	S. Woodward	790	-	790
	Pt. Lot 3 & 4	4400-000012	C. Farough	3,760	50	3,810
12	Pt. Lot 2	4400-000056-05	K. Hebert	600	-	600
	Lot 1	4400-000059	B. & R. Hyland	2,800	-	2,800
	Pt. Lot 1 & 2	4400-000058-50	W. & M. Hyland	2,330	-	2,330
	Pt. Lot 2 & 3	4400-000056	R. & P. Chapman	5,060	2,160	7,220
TOTAL ALLOWANCES				\$17,030	\$2,260	\$19,290

Estimate of Cost

<u>Item (Supply and Install New)</u>	<u>Quantity</u>	<u>Unit</u>	<u>Unit Cost (\$)</u>	<u>Total (\$)</u>
Pre-Construction Meeting	1	LS	400	400
Benchmark Loop	1	LS	400	400
Traffic Control on South Talbot Road (S. 26)	1	LS	1,500	1,500
Excavation of Open Channel	576	m	16	9,216
Level Excavated Material	576	m	7	4,032
Provisional: Re-Connct Tile Drain Outlets	4	each	80	320
Culvert No.2 of South Talbot Road Drain East (Concession Road 11) (S. 26)				
Traffic Control on Concession Road 11	1.0	LS	1,200	1,200
Removal of existing structure	1.0	LS	1,400	1,400
Supply & Install 2230x1700mm dia. CSPA c/w				
Bedding and Backfill to 300mm Above top of	19.0	m	1,300	24,700
Culvert				
Place Backfill	1.0	LS	800	800
Provisional: Supply & install Granular 'B'	50.0	tonne	25	1,250
Supply & install Granular 'A'	50.0	tonne	30	1,500
Supply and Install HL4 Asphalt	8.0	tonne	200	1,600
Supply and Install HL3 Asphalt	8.0	tonne	250	2,000
Supply and Install Concrete Block Endwall	50.0	each	200	10,000
Re-Grade Ditch	1.0	LS	1,000	1,000
Restoration	1.0	LS	800	800
				<hr/> 46,250

<u>Item (Supply and Install New)</u>	<u>Quantity</u>	<u>Unit</u>	<u>Unit Cost (\$)</u>	<u>Total (\$)</u>
Culvert No.6 of South Talbot Road Drain East (Roll No. 4400-000056)				
Supply & Install 1000mm dia. CSP c/w Bedding	12.0	m	800	9,600
Supply & Install Granular 'B'	60.0	tonne	25	1,500
Supply & Install Granular 'A'	20.0	tonne	30	600
Supply and Install Rip Rap End Walls	1.0	LS	2,500	2,500
				<u>14,200</u>
Culvert No.8 of South Talbot Road Drain East (Roll No. 4400-000056-05)				
Removal of existing structure	1.0	LS	600	600
Supply & install 750mm dia. HDPE c/w Bedding	12.0	m	700	8,400
Place Backfill	1.0	LS	800	800
Provisional: Supply Granular 'B'	30.0	tonne	25	750
Supply & Install Granular 'A'	20.0	tonne	30	600
Supply and Install Rip Rap End Walls	1.0	LS	2,500	2,500
				<u>13,650</u>
Buffer Strip	5090	m ²	1.50	7,635
Enviornmental Considerations	1.0	LS	300	300
Contingency				<u>5,000</u>
Sub Total				<u>102,903</u>
Allowances				19,290
Engineering				23,030
Estimate for Tendering, Inspection and Contract Administration				6,500
ERCA Fee				<u>500</u>
Total Estimate excluding HST				152,223
Non-Recoverable HST (1.76%)				<u>2,331</u>
Total Estimate				\$ 154,554

SCHEDULE OF ASSESSMENT

Conc.	Lot or Part	Affected Hectares	Roll No.	Owner	Special Benefit	Benefit	Outlet	Total
Municipal Lands								
	South Talbot Road	2.21		Town of Tecumseh	1,800	6,231	441	8,472
	Concession Road 11	2.82		Town of Tecumseh	54,900	270	119	55,289
	Concession Road 12	3.12		Town of Tecumseh	1,350	1,367	1,145	3,862
				Total Municipal Lands	58,050	7,868	1,705	67,623
Non-Agricultural Lands								
10	Pt. Lot 2	0.73	4410-000053-02	P. & N. Gerard		-	15	15
	Pt. Lot 3	0.43	4410-000051	N. & R. McFarlane		-	9	9
	Pt. Lot 4	0.40	4410-000050	D. & E. Grosu		-	8	8
	Pt. Lot 4	0.40	4410-000049	A. Deehan		521	8	529
11	Pt. Lot 2	0.20	4400-000007-05	R. Gerard		-	4	4
	Pt. Lot 2	0.85	4400-000015-75	C. & J. Ellis		10	178	188
	Pt. Lot 2	0.41	4400-000015-50	T. Parent		5	86	91
	Pt. Lot 3	0.32	4400-000010	T. Farough		-	6	6
	Pt. Lot 3	4.00	4400-000013	S. Woodward		1,001	3,674	4,675
12	Pt. Lot 2	1.84	4400-000058	O. & R. Carpenter		16	2,277	2,293
	Pt. Lot 2	0.78	4400-000057-01	C. Andary		7	965	972
	Pt. Lot 2	0.39	4400-000057	D. Gerard		3	483	486
	Pt. Lot 2	1.21	4400-000056-05	K. Hebert		7,809	1,497	9,306
				Total Non-Agricultural Lands	-	9,372	9,210	18,582

Conc.	Lot or Part	Affected Hectares	Roll No.	Owner	Special Benefit	Benefit	Outlet	Total
Agricultural Lands (Eligible for Available Grants)								
10	Pt. Lot 2	0.00	4410-000055	S. Gerard		-	-	-
	Pt. Lot 2	3.25	4410-000052	C. Farough		-	43	43
	Pt. Lot 2 & 3	1.43	4410-000051-50	P. & P. Jobin		-	19	19
	Pt. Lot 3	0.93	4410-000046	R. & S. Clarkson		-	12	12
	Pt. Lot 3	8.39	4410-000047	R. & C. Lutzmann		-	112	112
	Pt. Lot 3 & 4	8.86	4410-000048	C. & B. Taiariol		-	118	118
11	E Pt. Lot 1	8.09	4400-000010	K. & J. Racicot		47	955	1,002
	Pt. Lot 1 & 2	20.29	4400-000016	D. & C. Davies		117	2,394	2,511
	Pt. Lot 2	18.98	4400-000015	1741057 Ontario Ltd.		31	866	897
	Pt. Lot 2	15.32	4400-000008	M. Gerard		1	208	209
	Pt. Lot 2	0.50	4400-000007-20	M. & D. Gerard		-	10	10
	Pt. Lot 2 & 3	10.22	4400-000009	C. Farough		8	292	300
	Pt. Lot 2 & 3	17.03	4400-000014	W. & I. Farough		1,141	584	1,725
	Pt. Lot 3	9.60	4400-000009-05	W. & L. Farough		7	274	281
	Pt. Lot 3	9.40	4400-000010-01	W. & I. Farough		7	268	275
	Pt. Lot 3 & 4	14.94	4400-000011	W. & L. Farough		12	426	438
	Pt. Lot 3 & 4	13.00	4400-000012	C. Farough		3,806	254	4,060
12	Lot 1	45.28	4400-000059	B. & R. Hyland		3,275	8,479	11,754
	Pt. Lot 1 & 2	33.04	4400-000058-50	W. & M. Hyland		2,766	9,739	12,505
	Pt. Lot 2 & 3	16.98	4400-000056	R. & P. Chapman	17,220	14,135	723	32,078
Total Agricultural Lands					17,220	25,353	25,776	68,349
Total Municipal Lands					67,623			
Total Non-Agricultural Lands					18,582			
Total Agricultural Lands					68,349			
Total Assessment					\$154,554			

South Talbot Road Drain East and 12th Line Drain
Town of Tecumseh
May 18, 2022

1 of 2

ESTIMATED NET ASSESSMENT

Net assessment subject to OMAFRA ADIP Policy and actual construction costs.

Conc.	Lot or Part	Affected Hectares	Roll No.	Owner	Total Assessment (\$)	Estimated Grant (\$)	Allowances (\$)	Estimated Net Assessment (\$)
Municipal Lands								
	South Talbot Road	2.21		Town of Tecumseh	8,472			8,472
	Concession Road 11	2.82		Town of Tecumseh	55,289			55,289
	Concession Road 12	3.12		Town of Tecumseh	3,862			3,862
Non-Agricultural Lands								
10	Pt. Lot 2	0.73	4410-000053-02	P. & N. Gerard	15			15
	Pt. Lot 3	0.43	4410-000051	N. & R. McFarlane	9			9
	Pt. Lot 4	0.40	4410-000050	D. & E. Grosu	8			8
	Pt. Lot 4	0.40	4410-000049	A. Deehan	529		420	109
11	Pt. Lot 2	0.20	4400-000007-05	R. Gerard	4			4
	Pt. Lot 2	0.85	4400-000015-75	C. & J. Ellis	188			188
	Pt. Lot 2	0.41	4400-000015-50	T. Parent	91			91
	Pt. Lot 3	0.32	4400-000010	T. Farough	6			6
	Pt. Lot 3	4.00	4400-000013	S. Woodward	4,675		790	3,885
12	Pt. Lot 2	1.84	4400-000058	O. & R. Carpenter	2,293			2,293
	Pt. Lot 2	0.78	4400-000057-01	C. Andary	972			972
	Pt. Lot 2	0.39	4400-000057	D. Gerard	486			486
	Pt. Lot 2	1.21	4400-000056-05	K. Hebert	9,306		600	8,706

Conc.	Lot or Part	Affected Hectares	Roll No.	Owner	Total Assessment (\$)	Estimated Grant (\$)	Allowances (\$)	Estimated Net Assessment (\$)
Agricultural Lands (Eligible for Available Grants)								
10	Pt. Lot 2	0.00	4410-000055	S. Gerard	-	-		-
	Pt. Lot 2	3.25	4410-000052	C. Farough	43	14		29
	Pt. Lot 2 & 3	1.43	4410-000051-50	P. & P. Jobin	19	6		13
	Pt. Lot 3	0.93	4410-000046	R. & S. Clarkson	12	4		8
	Pt. Lot 3	8.39	4410-000047	R. & C. Lutzmann	112	37		75
	Pt. Lot 3 & 4	8.86	4410-000048	C. & B. Taiariol	118	39		79
11	E Pt. Lot 1	8.09	4400-000010	K. & J. Racicot	1,002	334		668
	Pt. Lot 1 & 2	20.29	4400-000016	D. & C. Davies	2,511	837		1,674
	Pt. Lot 2	18.98	4400-000015	1741057 Ontario Ltd.	897	299		598
	Pt. Lot 2	15.32	4400-000008	M. Gerard	209	70		139
	Pt. Lot 2	0.50	4400-000007-20	M. & D. Gerard	10	3		7
	Pt. Lot 2 & 3	10.22	4400-000009	C. Farough	300	100		200
	Pt. Lot 2 & 3	17.03	4400-000014	W. & I. Farough	1,725	575	1,320	(170)
	Pt. Lot 3	9.60	4400-000009-05	W. & L. Farough	281	94		187
	Pt. Lot 3	9.40	4400-000010-01	W. & I. Farough	275	92		183
	Pt. Lot 3 & 4	14.94	4400-000011	W. & L. Farough	438	146		292
	Pt. Lot 3 & 4	13.00	4400-000012	C. Farough	4,060	1,353	3,810	(1,103)
12	Lot 1	45.28	4400-000059	B. & R. Hyland	11,754	3,918	2,800	5,036
	Pt. Lot 1 & 2	33.04	4400-000058-50	W. & M. Hyland	12,505	4,168	2,330	6,007
	Pt. Lot 2 & 3	16.98	4400-000056	R. & P. Chapman	32,078	4,953	7,220	19,905
					154,554	17,042	19,290	118,222

SCHEDULE OF MAINTENANCE NO. 1

To maintain the South Talbot Road Drain East from Station 0+000 to 1+398

Conc.	Lot or Part	Affected Hectares	Roll No.	Owner	Benefit	Outlet	Total	Equivalent Ha
Municipal Lands								
	South Talbot Road	2.21		Town of Tecumseh	6,188	712	6,900	2.10
	Concession Road 11	2.82		Town of Tecumseh	-	49	49	2.68
	Concession Road 12	3.12		Town of Tecumseh	-	1,311	1,311	2.96
Total Municipal Lands					6,188	2,072	8,260	
Non-Agricultural Lands								
10	Pt. Lot 2	0.73	4410-000053-02	P. & N. Gerard	-	6	6	0.33
	Pt. Lot 3	0.43	4410-000051	N. & R. McFarlane	-	4	4	0.19
	Pt. Lot 4	0.40	4410-000050	D. & E. Grosu	-	3	3	0.18
	Pt. Lot 4	0.40	4410-000049	A. Deehan	1,665	3	1,668	0.18
11	Pt. Lot 2	0.20	4400-000007-05	R. Gerard	-	2	2	0.09
	Pt. Lot 2	0.85	4400-000015-75	C. & J. Ellis	-	169	169	0.38
	Pt. Lot 2	0.41	4400-000015-50	T. Parent	-	82	82	0.18
	Pt. Lot 3	0.32	4400-000010	T. Farough	-	3	3	0.14
	Pt. Lot 3	4.00	4400-000013	S. Woodward	3,531	311	3,842	1.20
12	Pt. Lot 2	1.84	4400-000058	O. & R. Carpenter	-	367	367	0.83
	Pt. Lot 2	0.78	4400-000057-01	C. Andary	-	155	155	0.35
	Pt. Lot 2	0.39	4400-000057	D. Gerard	-	78	78	0.18
	Pt. Lot 2	1.21	4400-000056-05	K. Hebert	-	241	241	0.54
Total Non-Agricultural Lands					5,196	1,424	6,620	

Conc.	Lot or Part	Affected Hectares	Roll No.	Owner	Benefit	Outlet	Total	Equivalent Ha
Agricultural Lands (Eligible for Available Grants)								
10	Pt. Lot 2	0.00	4410-000055	S. Gerard	-	-	-	0.00
	Pt. Lot 2	3.25	4410-000052	C. Farough	-	18	18	0.98
	Pt. Lot 2 & 3	1.43	4410-000051-50	P. & P. Jobin	-	8	8	0.43
	Pt. Lot 3	0.93	4410-000046	R. & S. Clarkson	-	5	5	0.28
	Pt. Lot 3	8.39	4410-000047	R. & C. Lutzmann	-	46	46	2.52
	Pt. Lot 3 & 4	8.86	4410-000048	C. & B. Taiariol	-	49	49	2.66
11	E Pt. Lot 1	8.09	4400-000010	K. & J. Racicot	-	1,074	1,074	2.43
	Pt. Lot 1 & 2	20.29	4400-000016	D. & C. Davies	-	2,695	2,695	6.09
	Pt. Lot 2	18.98	4400-000015	1741057 Ontario Ltd.	-	2,521	2,521	5.69
	Pt. Lot 2	15.32	4400-000008	M. Gerard	-	85	85	4.60
	Pt. Lot 2	0.50	4400-000007-20	M. & D. Gerard	-	4	4	0.23
	Pt. Lot 2 & 3	10.22	4400-000009	C. Farough	-	796	796	3.07
	Pt. Lot 2 & 3	17.03	4400-000014	W. & I. Farough	5,898	1,654	7,552	5.11
	Pt. Lot 3	9.60	4400-000009-05	W. & L. Farough	-	747	747	2.88
	Pt. Lot 3	9.40	4400-000010-01	W. & I. Farough	-	732	732	2.82
	Pt. Lot 3 & 4	14.94	4400-000011	W. & L. Farough	-	1,163	1,163	4.48
	Pt. Lot 3 & 4	13.00	4400-000012	C. Farough	16,753	96	16,849	5.20
12	Lot 1	45.28	4400-000059	B. & R. Hyland	-	6,014	6,014	13.58
	Pt. Lot 1 & 2	33.04	4400-000058-50	W. & M. Hyland	-	4,388	4,388	9.91
	Pt. Lot 2 & 3	16.98	4400-000056	R. & P. Chapman	-	2,255	2,255	5.09
Total Agricultural Lands					22,651	24,350	47,001	
Total Municipal Lands					8,260			
Total Non-Agricultural Lands					6,620			
Total Agricultural Lands					47,001			
Total Assessment					\$61,881			

SCHEDULE OF MAINTENANCE NO. 2
To maintain the South Talbot Road Drain East from Station 1+398 to 2+263

Conc.	Lot or Part	Affected Hectares	Roll No.	Owner	Benefit	Outlet	Total	Equivalent Ha
Municipal Lands								
	South Talbot Road	0.42		Town of Tecumseh	3,812	539	4,351	0.40
				Total Municipal Lands	3,812	539	4,351	
Non-Agricultural Lands								
12	Pt. Lot 2	1.84	4400-000058	O. & R. Carpenter	-	1,268	1,268	0.83
	Pt. Lot 2	0.78	4400-000057-01	C. Andary	-	537	537	0.35
	Pt. Lot 2	0.39	4400-000057	D. Gerard	-	269	269	0.18
	Pt. Lot 2	1.21	4400-000056-05	K. Hebert	2,668	834	3,502	0.54
				Total Non-Agricultural Lands	2,668	2,908	5,576	
Agricultural Lands (Eligible for Available Grants)								
12	Lot 1	9.00	4400-000059	B. & R. Hyland	-	4,134	4,134	2.70
	Pt. Lot 1 & 2	20.84	4400-000058-50	W. & M. Hyland	-	9,573	9,573	6.25
	Pt. Lot 2 & 3	14.98	4400-000056	R. & P. Chapman	14,485	-	14,485	4.49
				Total Agricultural Lands	14,485	13,707	28,192	
				Total Municipal Lands	4,351			
				Total Non-Agricultural Lands	5,576			
				Total Agricultural Lands	28,192			
				Total Assessment	\$38,119			

COMBINED SCHEDULE OF MAINTENANCE
To maintain the South Talbot Road Drain East from Station 0+000 to 2+263

Conc.	Lot or Part	Affected Hectares	Roll No.	Owner	Benefit	Outlet	Total	Equivalent Ha
Municipal Lands								
	South Talbot Road	2.21		Town of Tecumseh	10,000	1,251	11,251	2.10
	Concession Road 11	2.82		Town of Tecumseh	-	49	49	2.68
	Concession Road 12	3.12		Town of Tecumseh	-	1,311	1,311	2.96
Total Municipal Lands					10,000	2,611	12,611	
Non-Agricultural Lands								
10	Pt. Lot 2	0.73	4410-000053-02	P. & N. Gerard	-	6	6	0.33
	Pt. Lot 3	0.43	4410-000051	N. & R. McFarlane	-	4	4	0.19
	Pt. Lot 4	0.40	4410-000050	D. & E. Grosu	-	3	3	0.18
	Pt. Lot 4	0.40	4410-000049	A. Deehan	1,665	3	1,668	0.18
11	Pt. Lot 2	0.20	4400-000007-05	R. Gerard	-	2	2	0.09
	Pt. Lot 2	0.85	4400-000015-75	C. & J. Ellis	-	169	169	0.38
	Pt. Lot 2	0.41	4400-000015-50	T. Parent	-	82	82	0.18
	Pt. Lot 3	0.32	4400-000010	T. Farough	-	3	3	0.14
	Pt. Lot 3	4.00	4400-000013	S. Woodward	3,531	311	3,842	1.20
12	Pt. Lot 2	1.84	4400-000058	O. & R. Carpenter	-	1,635	1,635	0.83
	Pt. Lot 2	0.78	4400-000057-01	C. Andary	-	692	692	0.35
	Pt. Lot 2	0.39	4400-000057	D. Gerard	-	347	347	0.18
	Pt. Lot 2	1.21	4400-000056-05	K. Hebert	2,668	1,075	3,743	0.54
Total Non-Agricultural Lands					7,864	4,332	12,196	

Conc.	Lot or Part	Affected Hectares	Roll No.	Owner	Benefit	Outlet	Total	Equivalent Ha
Agricultural Lands (Eligible for Available Grants)								
10	Pt. Lot 2	0.00	4410-000055	S. Gerard	-	-	-	0.00
	Pt. Lot 2	3.25	4410-000052	C. Farough	-	18	18	0.98
	Pt. Lot 2 & 3	1.43	4410-000051-50	P. & P. Jobin	-	8	8	0.43
	Pt. Lot 3	0.93	4410-000046	R. & S. Clarkson	-	5	5	0.28
	Pt. Lot 3	8.39	4410-000047	R. & C. Lutzmann	-	46	46	2.52
	Pt. Lot 3 & 4	8.86	4410-000048	C. & B. Taiariol	-	49	49	2.66
11	E Pt. Lot 1	8.09	4400-000010	K. & J. Racicot	-	1,074	1,074	2.43
	Pt. Lot 1 & 2	20.29	4400-000016	D. & C. Davies	-	2,695	2,695	6.09
	Pt. Lot 2	18.98	4400-000015	1741057 Ontario Ltd.	-	2,521	2,521	5.69
	Pt. Lot 2	15.32	4400-000008	M. Gerard	-	85	85	4.60
	Pt. Lot 2	0.50	4400-000007-20	M. & D. Gerard	-	4	4	0.23
	Pt. Lot 2 & 3	10.22	4400-000009	C. Farough	-	796	796	3.07
	Pt. Lot 2 & 3	17.03	4400-000014	W. & I. Farough	5,898	1,654	7,552	5.11
	Pt. Lot 3	9.60	4400-000009-05	W. & L. Farough	-	747	747	2.88
	Pt. Lot 3	9.40	4400-000010-01	W. & I. Farough	-	732	732	2.82
	Pt. Lot 3 & 4	14.94	4400-000011	W. & L. Farough	-	1,163	1,163	4.48
	Pt. Lot 3 & 4	13.00	4400-000012	C. Farough	16,753	96	16,849	5.20
12	Lot 1	45.28	4400-000059	B. & R. Hyland	-	10,148	10,148	13.58
	Pt. Lot 1 & 2	33.04	4400-000058-50	W. & M. Hyland	-	13,961	13,961	9.91
	Pt. Lot 2 & 3	16.98	4400-000056	R. & P. Chapman	14,485	2,255	16,740	5.09
Total Agricultural Lands					37,136	38,057	75,193	
Total Municipal Lands					12,611			
Total Non-Agricultural Lands					12,196			
Total Agricultural Lands					75,193			
Total Assessment					\$100,000			

SCHEDULE OF MAINTENANCE
To Maintain the 12th Line Drain from Station 0+000 to 1+543

Conc.	Lot or Part	Affected Hectares	Roll No.	Owner	Benefit	Outlet	Total	Equivalent Ha
Municipal Lands								
	Concession Road 12	3.12		Town of Tecumseh	1,000	381	1,381	2.96
				Total Municipal Lands	1,000	381	1,381	
Non-Agricultural Lands								
11	Pt. Lot 2	0.85	4400-000015-75	C. & J. Ellis	-	102	102	0.38
	Pt. Lot 2	0.41	4400-000015-50	T. Parent	-	49	49	0.18
				Total Non-Agricultural Lands	-	151	151	
Agricultural Lands (Eligible for Available Grants)								
11	E Pt. Lot 1	8.09	4400-000010	K. & J. Racicot	-	451	451	2.43
	Pt. Lot 1 & 2	20.29	4400-000016	D. & C. Davies	-	1,131	1,131	6.09
	Pt. Lot 2	1.20	4400-000015	1741057 Ontario Ltd.	-	67	67	0.36
12	Lot 1	36.28	4400-000059	B. & R. Hyland	1,817	2,022	3,839	10.88
	Pt. Lot 1 & 2	12.20	4400-000058-50	W. & M. Hyland	1,508	271	1,779	3.66
	Pt. Lot 2 & 3	2.00	4400-000056	R. & P. Chapman	1,175	26	1,201	0.60
				Total Agricultural Lands	4,500	3,968	8,468	
				Total Municipal Lands	1,381			
				Total Non-Agricultural Lands	151			
				Total Agricultural Lands	8,468			
				Total Assessment	\$10,000			

South Talbot Road Drain East and 12th Line Drain
Town of Tecumseh
May 18, 2022

SPECIFICATION OF WORK

1. Location

The South Talbot Road Drain East and 12th Line Drain exist in Lot 4, Concession 10, Lots 3 and 4, Concession 11 and Lots 1, 2 and 3, Concession 12 in the Town of Tecumseh.

2. Scope of Work

The work to be included in this specification includes, but is not limited to, the following:

- Culvert Replacements
- Open Channel Improvements

3. General

Each tenderer must inspect the site prior to submitting their tender and satisfy themselves by personal examination as to the local conditions that may be encountered during this project. The Contractor shall make allowance in their tender for any difficulties which they may encounter. Quantities or any information supplied by the Engineer is not guaranteed and is for reference only.

All work and materials shall be to the satisfaction of the Drainage Superintendent who may vary these specifications as to minor details but in no way decrease the proposed capacity of the drain.

The Contractor shall be responsible for the notification of all utilities prior to the start of construction.

Measurement for Payment Clauses have not been included in these specifications and will be part of the Construction document. If the Construction document has not identified Measurement for Payment Clauses, the Contractor must notify the Town of Tecumseh and request clarification 2 days prior to pricing the project.

4. Plans and Specifications

This Specification of Work shall take precedence over all plans and general conditions pertaining to the Contract. The Contractor shall provide all labour, equipment, and supervision necessary to complete the work as shown in the Plans and described in these

specifications. Any work not described in these specifications shall be completed according to the Ontario Provincial Standard Specifications and Standard Drawings.

5. Health and Safety

The Contractor at all times shall be responsible for health and safety on the worksite including ensuring that all employees wear suitable personal protective equipment including safety boots and hard hats.

When applicable the Contractor shall be responsible for traffic control as per the Ontario Traffic Manual Book 7 – Temporary Conditions (latest revision).

The Contractor shall be responsible to ensure that all procedures are followed under the Occupational Health and Safety Act to ensure that work sites are safe and that accidents are prevented. In the event of a serious or recurring problem, a notice of non-compliance will be issued. The Contractor will be responsible for reacting immediately to any deficiency and correcting any potential health and safety risk. Continuous disregard for any requirement of the Occupational Health and Safety Act could be cause for the issuance of a stop work order or even termination of the Contract.

The Contractor shall also ensure that only competent workers are employed onsite and that appropriate training and certification is supplied to all employees.

6. Workplace Safety and Insurance Board

The Contractor hereby certifies that all employees and officers working on the project are covered by benefits provided by the Contractor. The WSIB Clearance Certificate must be furnished prior to the execution of the Contract and updated every 90 days.

7. Pre-Construction Meeting

There is a requirement for a pre-construction meeting to be held prior to any construction taking place. The meeting shall be scheduled by the Contractor. The Landowners, Engineer, and the Town of Tecumseh shall be notified of the pre-construction meeting at least one week prior.

8. Traffic Control

Access and driveways to private properties shall not be obstructed longer than the minimum time necessary for the work and shall be reinstated as soon as possible all to the satisfaction of the Engineer. The Contractor shall schedule any obstruction of existing driveways with the owners at least two full working days in advance. Roads must be kept open to local traffic and all obstructions and diversions of traffic must be approved by the Engineer or Drainage Superintendent at least two (2) full working days in advance.

- a) The Contractor shall supply, erect and maintain all detour signs and special signs necessary for detours to divert traffic from the area under construction as directed by the Drainage Superintendent or Engineer. All this work shall be at the Contractor's expense.
- b) The Contractor shall be responsible for supplying, erecting and maintaining all signs, supports, barricades, flashers, cones, etc. in the construction area and at the boundaries of the work as part of the above detours, all to the satisfaction of the Engineer or Drainage Superintendent. All this work shall be done by the Contractor at their own expense.
- c) The Contractor shall not be allowed to proceed with construction activities unless proper signage and flagmen are present. Flagging procedures, signage and detours shall conform to the recommendations of Book 7, Temporary Conditions, Ontario Traffic Manual, issued by the Ministry of Transportation. Conformance shall be enforced by the Ministry of Labour Inspector.

9. Access and Working Area

Access to the work site for construction and future maintenance of the South Talbot Road Drain East and 12th Line Drain shall be from South Talbot Road, Concession Road 11 and Concession Road 12, across the access culverts and along the drainage works. The working area for construction and maintenance shall be restricted to a width of 15m from the top of bank where the work is taking place. The excavation shall generally be done from the field side of the channel except across finished lawns. Across finished lawns, the excavation shall generally be done from the road side with the excavated material being trucked off site.

The working area at each culvert shall extend 10 metres from the bank on both sides and for 10 metres along the channel on either side of the culvert.

10. Benchmarks

The benchmarks are based on geodetic elevations. Elevations are available at the locations shown on the Plan and Profile drawings. Where these elevations are on existing structures to be replaced, they shall be transferred by the Contractor prior to the removal of the culvert.

The Contractor is required to complete a benchmark loop prior to construction to verify the benchmarks. If discrepancies exist the Contractor must notify the Drainage Superintendent and Engineer prior to completing any work.

11. Removals

The Contractor is required to notify the Landowner forty-eight (48) hours prior to the removal of an access culvert. The existing culverts shall be removed in their entirety from the open channel. The culvert, the concrete rubble and any deleterious material shall be disposed offsite at the expense of the Contractor. Suitable backfill shall be stockpiled adjacent to the site for reuse during installation of the proposed culvert. The existing rip rap, at the Discretion of the Drainage Superintendent or Engineer, can be re-used for end protection.

12. Brushing and Tree Removal

All brush, trees, woody vegetation, stumps etc. within the working area, the drain bottom and side slopes, and as determined by the Drainage Superintendent or Engineer shall be removed. This can be changed under the direction of the Drainage Superintendent or Engineer.

It is recommended that a mechanical grinder attached to an excavator be used for the removal of brush and trees. Any brush and trees too large to grind shall be close cut. The Contractor shall stockpile the trees and brush in a single pile on the property in which they were removed or dispose of the trees and brush offsite. If left on site, the Contractor is responsible for the burning of the trees and brush. The Contractor is responsible for obtaining all necessary permits for any disposal sites. Burning of the trees and brush is subject to local bylaws and guidelines of the Ministry of the Environment Conservation and Parks.

Certain trees may be left in place at the direction of the Drainage Superintendent or Engineer. Any trees to be salvaged shall be marked prior to construction.

For future maintenance it is recommended that appropriate spray be applied to the stumps, brush, and after-growth for two years following construction to maintain brush control.

13. Excavation of Open Channel

The open channel shall be excavated and maintained to the depths and grades as per the profile and drawings. The channel shall be excavated to the proper depth using a laser or similar approved device with a labourer onsite to ensure correctness of grade and to confirm location of tile ends.

The excavated material shall generally be cast on the side it is being excavated from, except across finished lawns where the excavated material shall be trucked. Excavated material shall be cast at least 1.5 metres clear of the bank. Excavated material shall not be placed in low runs or swales out letting surface water to the channel. The excavated

material shall be levelled to a maximum depth of 150mm and left in a condition suitable for cultivation. All high spots above grade shall be removed. The sediment shall be removed leaving a rounded bottom with the intent not to undercut the existing side slopes.

Where, determined by the Drainage Superintendent or Engineer, the banks are unstable due to the removal of the trees and brush, the banks shall be re-sloped to 2:1.

14. Installation of Access Culverts

The Contractor is required to notify the Landowner forty-eight (48) hours prior to the removal of a culvert.

The Contractor shall supply, install, and backfill aluminized corrugated steel pipe (CSP) or high-density polyethylene (HDPE) smooth wall pipe, as specified. CSP shall have a minimum wall thickness of 2.8mm in all cases. All corrugation profiles shall be of helical lock seam manufacture using 68 x 13mm corrugations for 1600mm dia. pipe and smaller and 125 x 25mm corrugations for 1800mm dia. pipe and larger. Pipe with 125 x 25mm corrugations shall be used if 68 x 13mm corrugations are not available. The high-density polyethylene (HDPE) pipe shall be CSA approved smooth wall pipe (320 kPa) with bell and spigot joints. Future culvert replacements shall be to these same specifications.

The culverts designated to be replaced in the future under this report shall be examined after any cleanout of the open channel as to its condition. If it is found to be in disrepair (i.e. there are holes corroded in the bottom or sides) it shall be replaced as per these specifications.

The culverts shall be installed generally in the same location or as approved by the Drainage Superintendent. The culverts shall be installed with the invert 10% (minimum 100mm) below the proposed channel bottom and as specified on the profile.

The access culvert lengths are based on using rip rap ends. If concrete block ends are to be utilized, the culverts shall be shortened proportionate to the sloped ends (1.5:1.0). The road culvert lengths are based on using concrete block end walls.

Any tile outlets extended as a result of a culvert shall be extended at the Landowner's expense. The pipes that shall be extended upstream or downstream of the proposed culvert shall be done with non-perforated HDPE agricultural tubing with a manufactured coupling, elbow and rodent grate.

All backfill shall be free from deleterious material. Any excess granular material shall be placed at the surface on the travel portion of the access culvert. All granular bedding and backfill material shall be mechanically compacted to 98% modified standard proctor density. All excavated backfill material above the spring line shall be mechanically

compacted to 95% modified standard proctor density using appropriate compaction equipment.

Access Culverts:

The bottom of the excavation shall be excavated to a minimum of 100mm below the proposed invert. The pipe shall be bedded with $\frac{3}{4}$ " clear stone. When the pipe has been installed to the proper grade and depth, the excavation shall be backfilled with $\frac{3}{4}$ " clear stone and wrapped in filter fabric from the bottom of the excavation to the spring line of the pipe. Care shall be taken to ensure that the backfill on either side of the culvert does not differ by more than 300mm so that the pipe is not displaced. The access culverts shall be backfilled from the spring line to within 150mm of finished grade with excavated material and/or Granular "B". Generally, Granular "B" shall be used within the access portion of the culvert and excavated material may be used outside of the access. If, at the discretion of the Drainage Superintendent or Engineer, the existing material on site is not sufficient for backfill, payment for imported fill shall be at the unit price specified in the Contract documents. This unit price shall include the trucking offsite of the unused excavated material. The top 150mm at the accesses shall be backfilled with compacted Granular "A" material to finished grade. If asphalt is proposed, the asphalt shall be HL4 and shall match the existing thickness. In these cases, the compacted Granular "A" shall occupy 150mm below the proposed asphalt.

For the access culverts rip rap end walls shall be used. They shall consist of 100mm x 250mm quarry stone or approved equal. The area to receive the rip rap shall be graded to a depth of 400mm below finished grade. Filter fabric (Terrafix 250R or approved equal) shall then be placed with any joints overlapped a minimum 600mm. The quarry stone shall then be placed with the smaller pieces placed in the gaps and voids to give it a uniform appearance. For rip rap end walls, the clay material shall generally be used close to the end walls with gravel material being used for the center drive area.

Road Culverts:

The bottom of the excavation shall be excavated to a minimum of 100mm below the proposed invert. The pipe shall be bedded with $\frac{3}{4}$ " clear stone. When the pipe has been installed to the proper grade and depth, the excavation shall be backfilled with $\frac{3}{4}$ " clear stone and wrapped in filter fabric from the bottom of the excavation to 300mm above the pipe. The bedding material shall not be native material. Care shall be taken to ensure that the backfill on either side of the culvert does not differ by more than 300mm so that the pipe is not displaced. Within the road allowance, the pipe shall be backfilled above the clear stone with Granular "B" or suitable reused granular material at the discretion of the Drainage Superintendent or Engineer. Outside the road allowance, excavated material can be used. If, at the discretion of the Drainage Superintendent, the existing material on site is not sufficient for backfill, payment for imported fill shall be at the unit price specified in the Contract documents. The sub-base shall consist of a minimum of 300mm of OPS

Granular “A”. The sub-base material shall not be native material. The asphalt shall be HL4 and HL3 at depths to match the existing thickness.

For the road culverts concrete block end walls shall be used. They shall consist of concrete blocks with dimensions of approx. 600mm x 600mm x 1200mm, 600mm x 600mm x 2400mm or 300mm x 600mm x 1200mm as required. Payment for 600mm x 600mm x 1200mm and 300mm x 600mm x 1200mm blocks shall be at the unit price in the contract documents while the 600mm x 600mm x 2400mm blocks shall be counted as two blocks. The blocks shall extend as determined by the Drainage Superintendent. For Culvert No. 2 the blocks shall extend parallel South Talbot Road on the east side of the culvert as shown on the drawings in order to increase the turning radius of the shoulder. The backfill behind the blocks shall consist of Granular “B” and shall be included in the unit price specified in the Contract documents.

The top of the culvert shall govern block elevation. The correct block shall be set with the top of the block equal to the top of the culvert. The blocks shall be set at each end of the culvert so that each row of blocks will be offset approx. 100mm from the row below. The bottom row shall consist of one block placed parallel to the culvert. The blocks shall be imbedded a minimum of 300mm into each bank and shall extend into the drain bottom to match the pipe invert or below.

The blocks shall be placed over a layer of filter fabric (Terrafix 270R or approved equal). The culvert shall be backfilled in conjunction with the placement of the blocks. The gaps between the culvert and the blocks shall be filled with concrete cinder blocks/bricks and mortar to give the end wall a finished appearance.

The future culvert replacements shall be to the following sizes, at a minimum, and may be replaced with an equivalent sized arch or round pipe or box culvert at the discretion of the Drainage Superintendent.

15. Culvert Maintenance

The Contractor shall be responsible for maintenance of the access culverts for a period of one year after their installation. This will include repairing any settlement areas, including on the travel surface with granular “A” and/or HL3 asphalt.

16. Subsurface Drainage

Landowners are required to mark field tile prior to construction.

All existing subsurface drains encountered during construction of the open channel shall be reconnected to the open channel unless otherwise noted on the drawings or as directed by the Drainage Superintendent.

A suitable length of equivalent sized PE agricultural tubing shall be used to connect the drain to the open channel. Manufactured fittings shall connect the PE tile to the existing drain. The connections shall be carefully backfilled to ensure there is adequate support under the pipe and large clumps of clay do not displace the tile.

Tile outlets larger than 150mm in diameter, or as determined by the Drainage Superintendent or Engineer at the time of construction, require erosion protection. The erosion protection made up of rip rap and filter fabric shall be installed on the embankment slope from 0.3m above the tile outlet to the channel invert. The erosion protection shall be 0.5m wide. Rip rap shall be made up of 100mm to 250mm quarry stone or approved equal. The area to receive the rip rap shall first be graded to allow the placement of the rip below finished grade. After grading, a layer of filter fabric (Mirafi P270 or approved equal) is to be placed with any joints overlapped a minimum of 600mm. Rip rap shall then be placed with the smaller pieces placed in the gaps and voids to give it a uniform appearance.

17. Buffer Strip

A grassed buffer strip shall be incorporated into the drainage works. The buffer strip shall extend 1.5 metres from the top of the bank on the south side of the South Talbot Road Drain East and on the east side of the 12th Line Drain. The seed mixture shall be as specified in the Seeding/Restoration specification. Where a buffer already exists no seed shall be placed.

18. Seeding/Restoration

The side slopes of the channel, road right of way, buffer strip, finished lawns, and all areas disturbed by construction, shall be topped with 100mm of topsoil and hydroseeded in the spring or fall following construction. The time of application shall be approved by the Drainage Superintendent or Engineer.

Hydraulic seed and mulch in accordance with OPSS 804. Seed mixture, fertilizer and application rates are as follows:

- Primary seed (85 kg/ha.) consisting of 50% red fescue, 40% perennial rye-grass and 5% white clover.
- Nurse crop consisting of Italian (annual) rye-grass at 25% of total weight.
- Fertilizer (300 kg/ha.) consisting of 8-32-16.
- Hydraulic mulch (2,999 kg/ha.) type “B” and water (52,700 litres/ha.).

The above mixture shall apply unless otherwise approved by the Drainage Superintendent or Engineer.

19. Environmental Considerations

The Contractor shall take care to adhere to the following considerations.

- Operate machinery in a manner that minimizes disturbance to the banks of the watercourse.
- The work shall be completed outside of the spring restricted activity timing window (March 15 to July 15)
- Erosion and sediment control measures must be installed prior to construction to prevent sediment from entering the water body.
- Material shall not be placed in areas regulated by the Conservation Authority or Ministry of Natural Resources.
- All granular and erosion control materials shall be stockpiled a minimum of 3.0m from the top of the bank or excavation. Material shall not be placed in surface water runs or open inlets that enter the channel.
- All activities, including maintenance procedures, shall be controlled to prevent the entry of petroleum products, debris, rubble, concrete, or other deleterious substances into the water. Vehicle and equipment refuelling and maintenance shall be conducted away from the channel, any surface water runs, or open inlets. All waste materials shall be stockpiled well back from the top of the bank and all surface water runs and open inlets that enter the drain.
- When possible, all construction within the open channel shall be carried out during periods of low flow or in dry conditions.
- The Contractor shall conduct regular inspections and maintain erosion and sediment control measures and structures during the course of construction.
- The Contractor shall repair erosion and sediment control measures and structures if damage occurs.
- The Contractor shall remove non-biodegradable erosion and sediment control materials once site is stabilized.
- Remove all construction materials from site upon project completion.

A light duty silt fencing shall be installed down-gradient of the work for the duration of construction.

The light duty silt fencing shall be supplied and installed in accordance with OPSS 805 and OPSD 219.110. The light duty silt fencing shall be removed once the disturbed area has been re-vegetated.



- OWNER INDEX NUMBER**
1. 4410-000053-02 P. & N. GERARD 0.73 Ha
 2. 4410-000051 N. & R. McFARLANE 0.43 Ha
 3. 4410-000050 D. & E. GROSU 0.40 Ha
 4. 4410-000049 A. DEEHAN 0.40 Ha
 5. 4400-000007-05 R. GERARD 0.20 Ha
 6. 4400-000007-20 M. & D. GERARD 0.50 Ha
 7. 4400-000015-75 C. & J. ELLIS
 8. 4400-000015-50 T. PARENT 0.41 Ha
 9. 4400-000010 T. FAROUGH 0.32 Ha
 10. 4400-000013 S. WOODWARD 4.00 Ha

- LEGEND**
- DRAINAGE AREA
 - 12TH LINE AND SOUTH TALBOT ROAD DRAIN EAST
 - MUNICIPAL DRAIN
 - PROPOSED CULVERT
 - EXISTING CULVERT
 - CULVERT TO BE REPLACED
 - CULVERT LOCATION

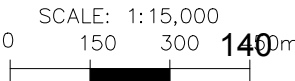


4218 Oil Heritage Road
Petrolia Ontario, N0N 1R0
Phone: (519) 882-0032 Fax: (519) 882-2233

DRAWING NAME:
12th Line / South Talbot Road Drain East

PROJECT No.
2021-1301

APPROVED	NO.	REVISIONS	DATE	BY
J. WARNER				
CHECKED	1	FINAL REPORT	MAY 18, 2022	CS
J. WARNER				
DRAWN				
C. SAUNDERS				



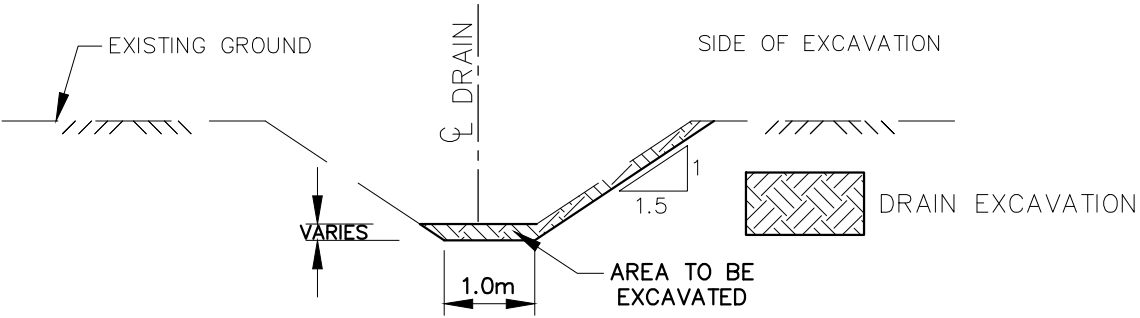
TOWN of TECUMSEH

12th LINE / SOUTH TALBOT ROAD DRAIN EAST

PLAN

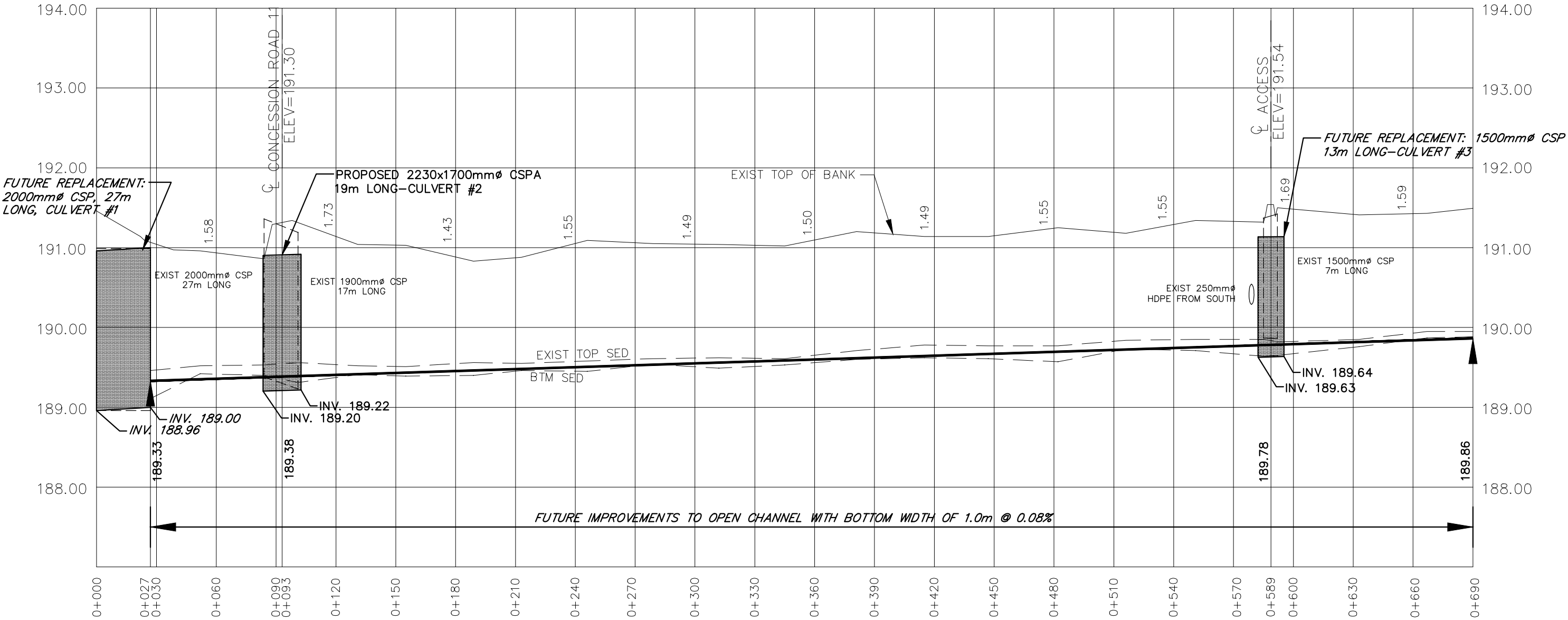
GENERAL NOTES

- 1. BENCHMARK No.1 ELEV. 190.92
TOP OF EAST END OF EXISTING
2000mmØ CSP, STATION 0+027
- BENCHMARK No.2 ELEV. 191.42
TOP OF EAST END OF EXISTING
1500mmØ CSP, STATION 0+589
- 2. UPPER NUMBERS ARE DEPTH FROM
TOP OF BANK TO BOTTOM OF NEW
CHANNEL.



TYPICAL DRAIN CROSS SECTION

NTS



4218 Oil Heritage Road
Petrolia Ontario, N0N 1R0
Phone: (519) 882-0032 Fax: (519) 882-2233

DRAWING NAME:
South Talbot Road Drain East Profile 1

PROJECT No.
2021-1301

APPROVED	NO.	REVISIONS	DATE	BY
J. WARNER				
CHECKED	1	FINAL REPORT	MAY 18, 2022	JW
B. VAN RUITENBURG				
DRAWN				
J. WARNER				

SCALE: 1:2,000

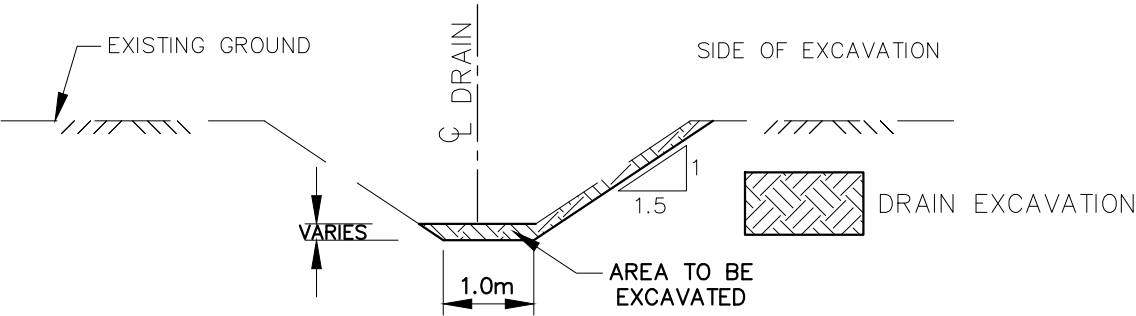
TOWN of TECUMSEH

SOUTH TALBOT ROAD DRAIN EAST PROFILE

2
OF 10

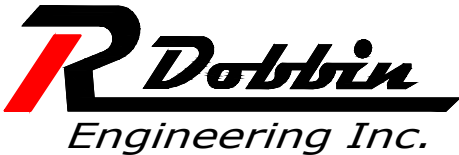
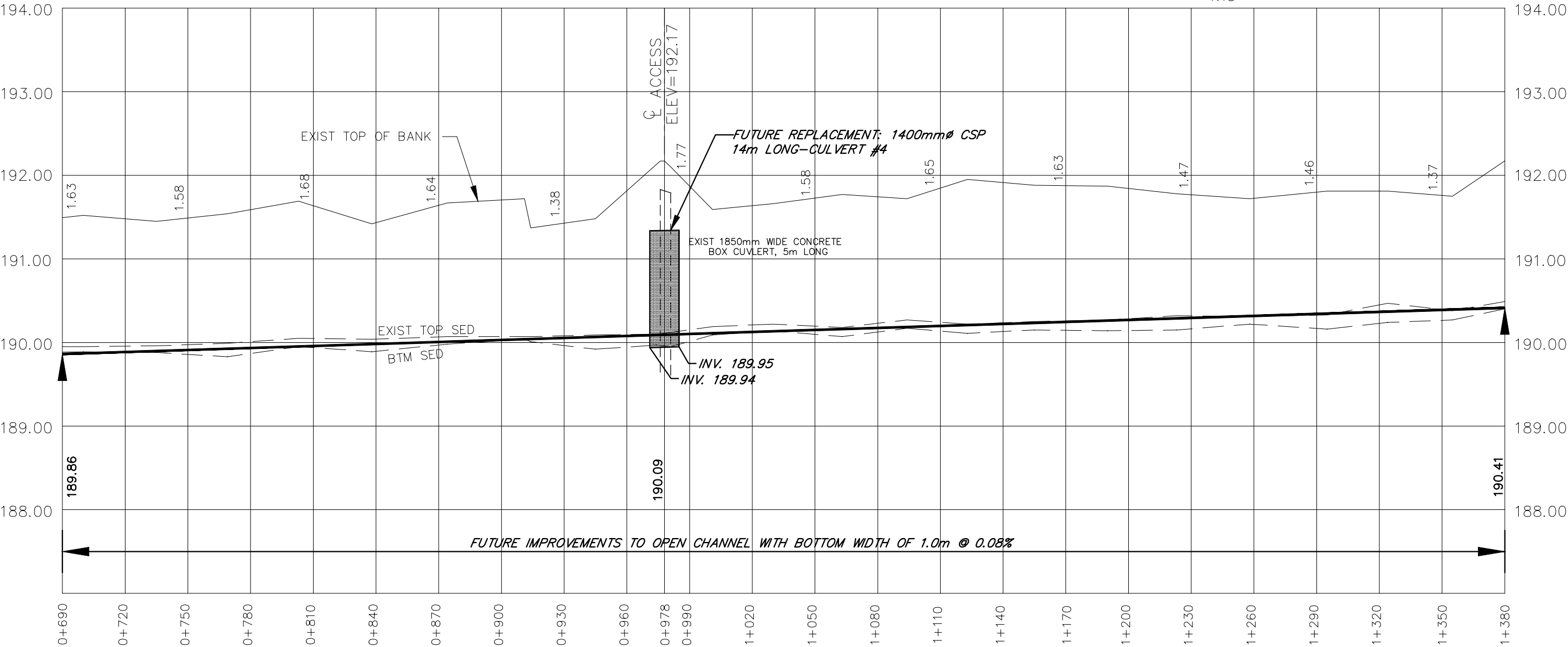
GENERAL NOTES

- 1. BENCHMARK No.1 ELEV. 190.92
TOP OF EAST END OF EXISTING
2000mmØ CSP, STATION 0+027
BENCHMARK No.2 ELEV. 191.42
TOP OF EAST END OF EXISTING
1500mmØ CSP, STATION 0+589
- 2. UPPER NUMBERS ARE DEPTH FROM
TOP OF BANK TO BOTTOM OF NEW
CHANNEL.



TYPICAL DRAIN CROSS SECTION

NTS



4218 Oil Heritage Road
Petrolia Ontario, N0N 1R0
Phone: (519) 882-0032 Fax: (519) 882-2233

DRAWING NAME:
South Talbot Road Drain East Profile 2

PROJECT No.
2021-1301

APPROVED
J. WARNER

CHECKED
B. VAN RUITENBURG

DRAWN
J. WARNER

NO.	REVISIONS	DATE	BY
1	FINAL REPORT	MAY 18, 2022	JW

SCALE: 1:2,000
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TOWN of TECUMSEH
SOUTH TALBOT ROAD DRAIN EAST
PROFILE

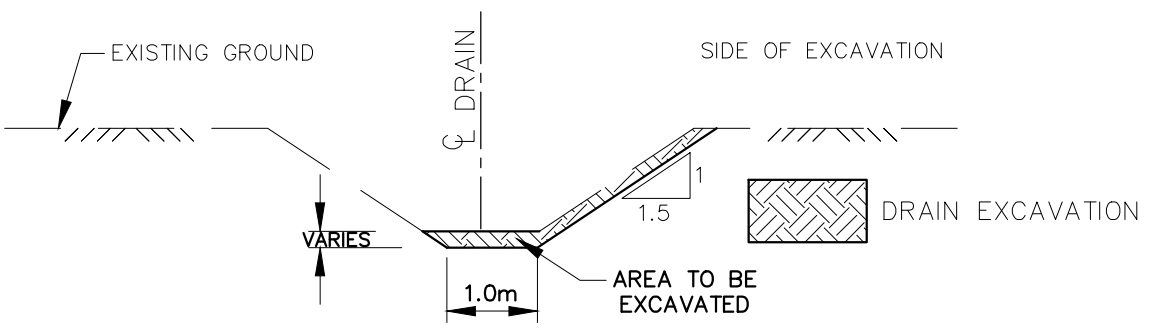
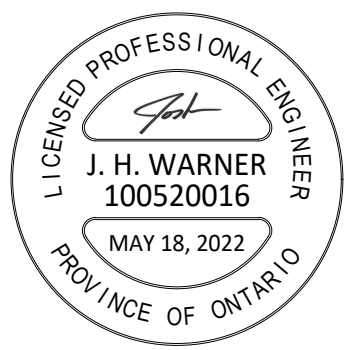
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Last Updated: March 1, 2022

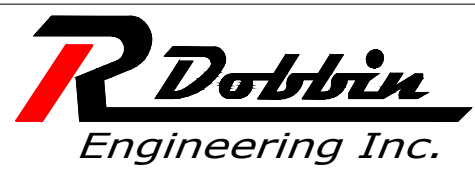
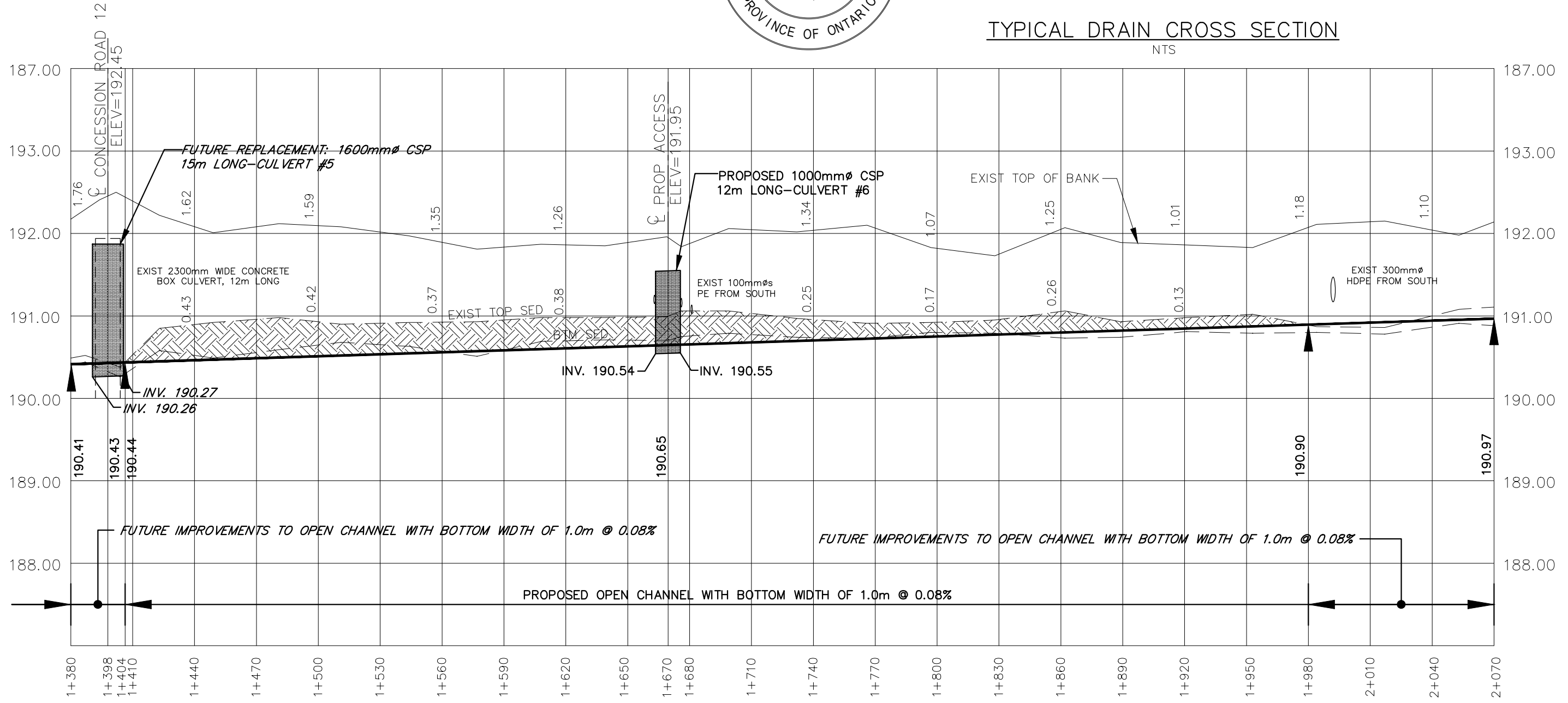
GENERAL NOTES

1. BENCHMARK No.3 ELEV. 192.76
TOP NAIL IN UTILITY POLE AT THE
SOUTHEAST CORNER OF THE
INTERSECTION OF SOUTH TALBOT
ROAD AND CONCESSION ROAD 12
BENCHMARK No.4 ELEV. 192.83
TOP SPINDLE OF FIRE HYDRANT
AT #12594 SOUTH TALBOT ROAD

2. UPPER NUMBERS ARE DEPTH FROM
TOP OF BANK TO BOTTOM OF NEW CHANNEL.
3. LOWER NUMBERS ARE DEPTH OF EXCAVATION.



TYPICAL DRAIN CROSS SECTION
NTS



4218 Oil Heritage Road
Petrolia Ontario, N0N 1R0
Phone: (519) 882-0032 Fax: (519) 882-2233

DRAWING NAME:
South Talbot Road Drain East Profile 3

PROJECT No.
2021-1301

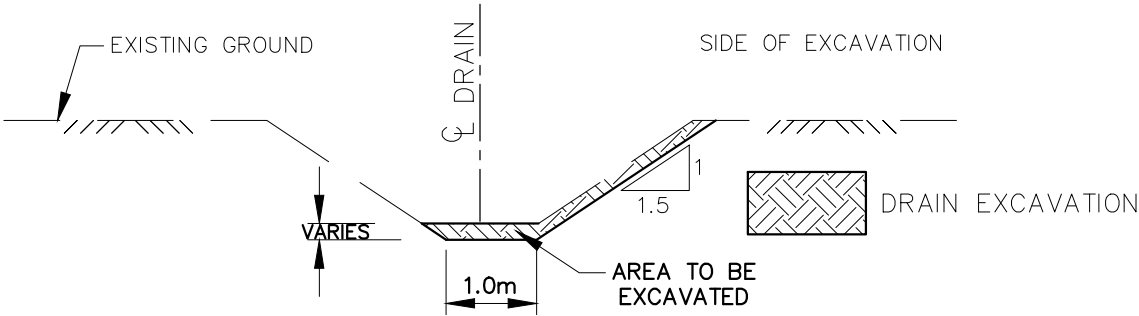
APPROVED J. WARNER	NO.	REVISIONS	DATE	BY
CHECKED B. VAN RUITENBURG	1	FINAL REPORT	MAY 18, 2022	JW
DRAWN J. WARNER	SCALE: 1:2,000 0 20 40 60m			

TOWN of TECUMSEH
SOUTH TALBOT ROAD DRAIN EAST
PROFILE

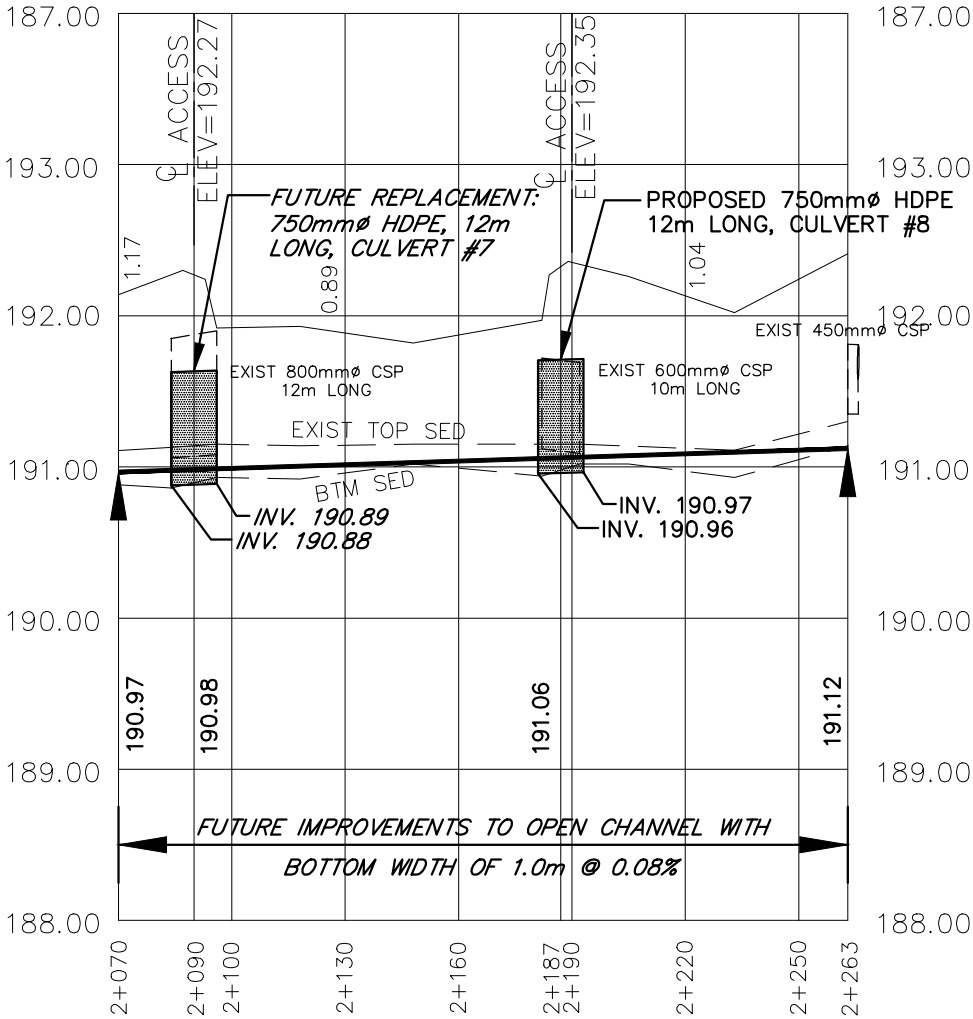
4
OF 10

GENERAL NOTES

- 1. BENCHMARK No.5 ELEV. 191.85
TOP OF WEST END OF EXISTING
800mmØ CSP, STATION 2+090
- 2. UPPER NUMBERS ARE DEPTH FROM
TOP OF BANK TO BOTTOM OF NEW
CHANNEL.



TYPICAL DRAIN CROSS SECTION
NTS



4218 Oil Heritage Road
Petrolia Ontario, N0N 1R0
Phone: (519) 882-0032 Fax: (519) 882-2233

DRAWING NAME:
South Talbot Road Drain East Profile 4

PROJECT No.
2021-1301

APPROVED J. WARNER	NO.	REVISIONS	DATE	BY
CHECKED B. VAN RUITENBURG	1	FINAL REPORT	MAY 18, 2022	JW
DRAWN J. WARNER	SCALE: 1:2,000 0 20 40 60m			

TOWN of TECUMSEH
SOUTH TALBOT ROAD DRAIN EAST
PROFILE

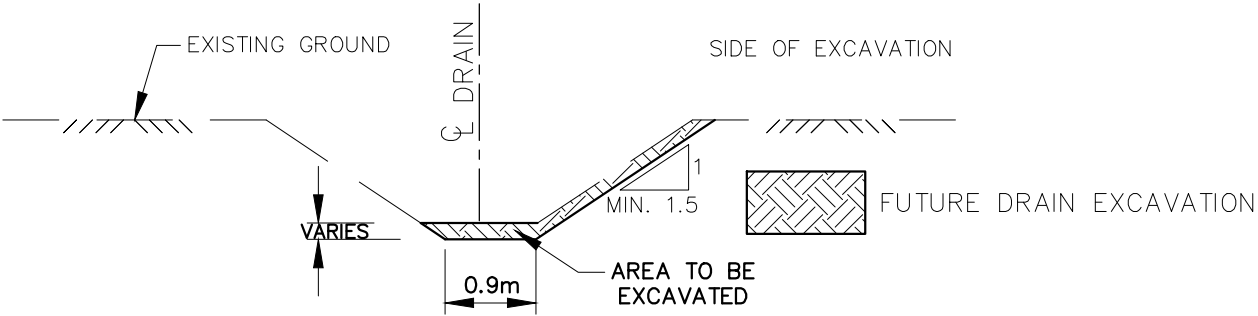
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OF 10

GENERAL NOTES

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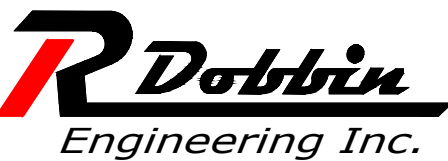
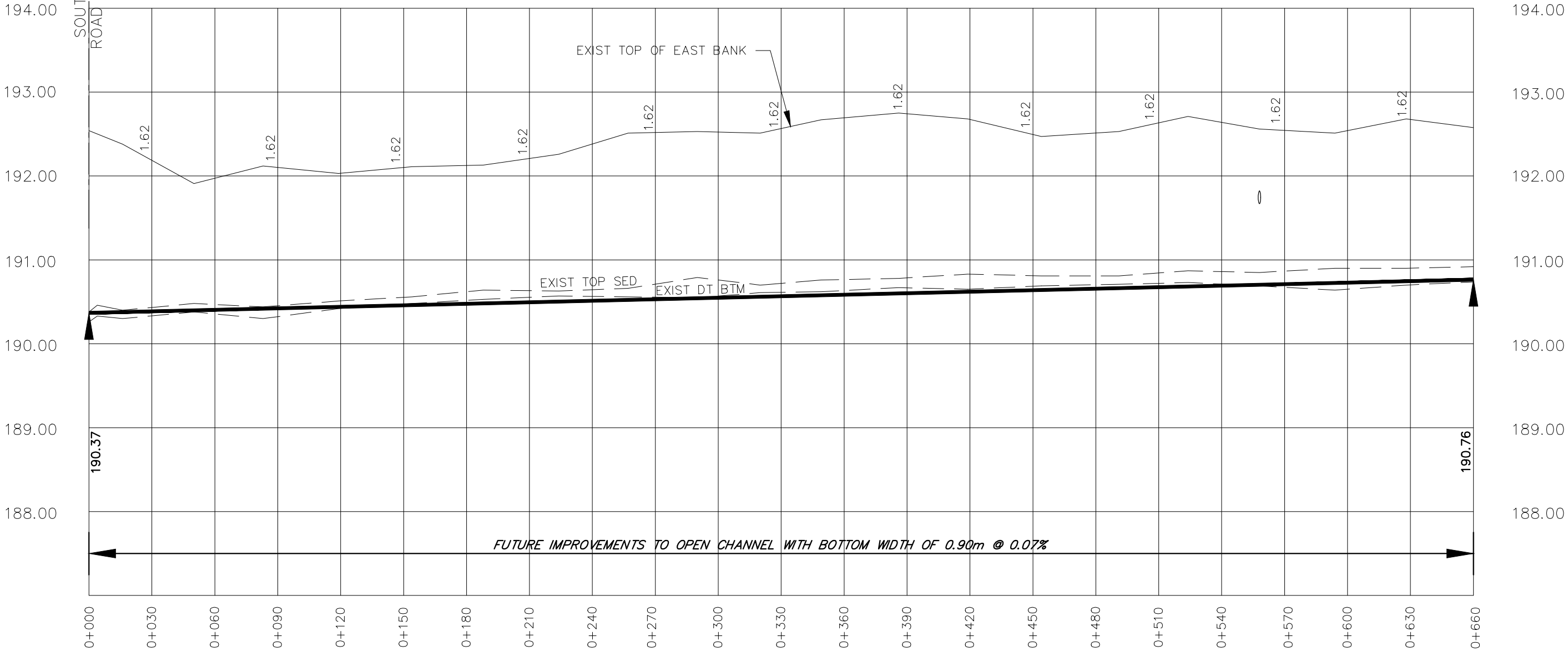
TOP NAIL IN UTILITY POLE AT THE
SOUTHEAST CORNER OF THE
INTERSECTION OF SOUTH TALBOT
ROAD AND CONCESSION ROAD 12
2. BENCHMARK No.6 ELEV. 192.74

TOP OF CATCHBASIN AT ST. 1+240
WEST SIDE OF CONCESSION ROAD 12



TYPICAL DRAIN CROSS SECTION

NTS



4218 Oil Heritage Road
Petrolia Ontario, N0N 1R0
Phone: (519) 882-0032 Fax: (519) 882-2233

DRAWING NAME:
12th Line Drain Profile 1

PROJECT No.
2021-1301

APPROVED	NO.	REVISIONS	DATE	BY
J. WARNER				
CHECKED	1	FINAL REPORT	MAY 18, 2022	CS
B. VAN RUITENBURG				
DRAWN				
C. SAUNDERS				

SCALE: 1:2,000
0 20 40 60m

TOWN of TECUMSEH
12TH LINE DRAIN
PROFILE

6
OF 10

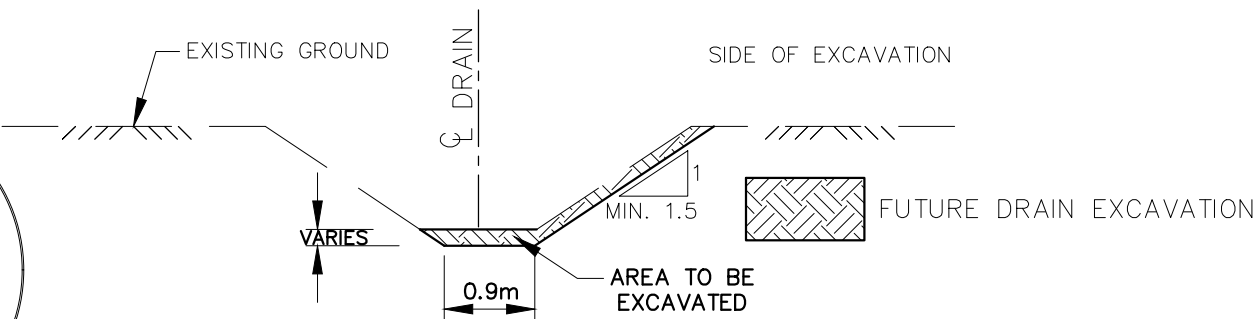
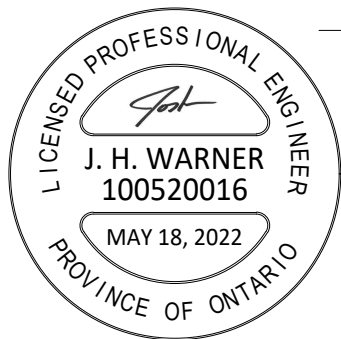
Last Updated: March 1, 2022

GENERAL NOTES

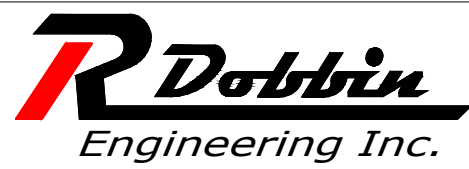
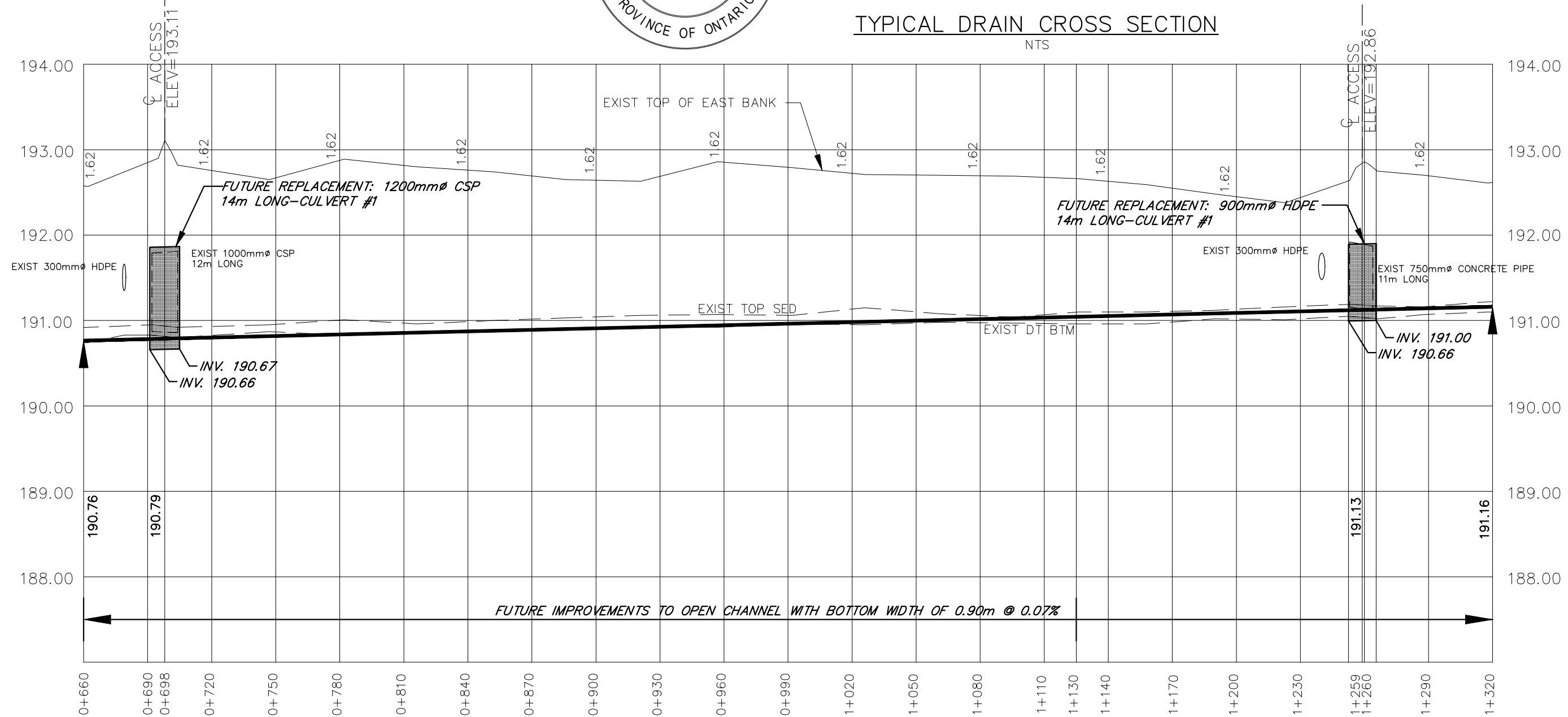
1. BENCHMARK No.1 ELEV. 192.76

TOP NAIL IN UTILITY POLE AT THE
SOUTHEAST CORNER OF THE
INTERSECTION OF SOUTH TALBOT
ROAD AND CONCESSION ROAD 12
2. BENCHMARK No.2 ELEV. 192.74

TOP OF CATCHBASIN AT ST. 1+240
WEST SIDE OF CONCESSION ROAD 12



TYPICAL DRAIN CROSS SECTION



4218 Oil Heritage Road
Petrolia Ontario, N0N 1R0
Phone: (519) 882-0032 Fax: (519) 882-2233

DRAWING NAME:
12th Line Drain Profile 2

PROJECT No.
2021-1301

APPROVED	NO.	REVISIONS	DATE	BY
J. WARNER				
CHECKED	1	FINAL REPORT	MAY 18, 2022	CS
B. VAN RUITENBURG				
DRAWN				
C. SAUNDERS				

SCALE: 1:2,000

0

20

40

60m

TOWN of TECUMSEH

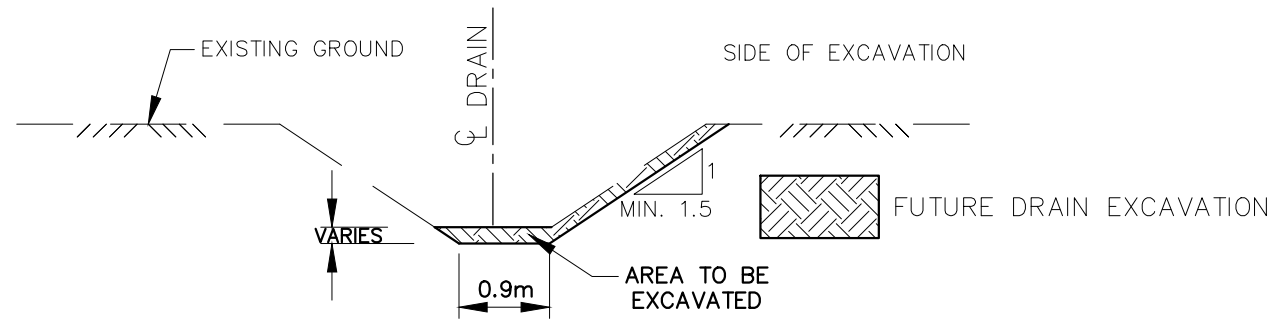
12TH LINE DRAIN

PROFILE

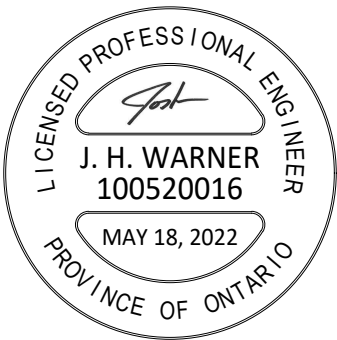
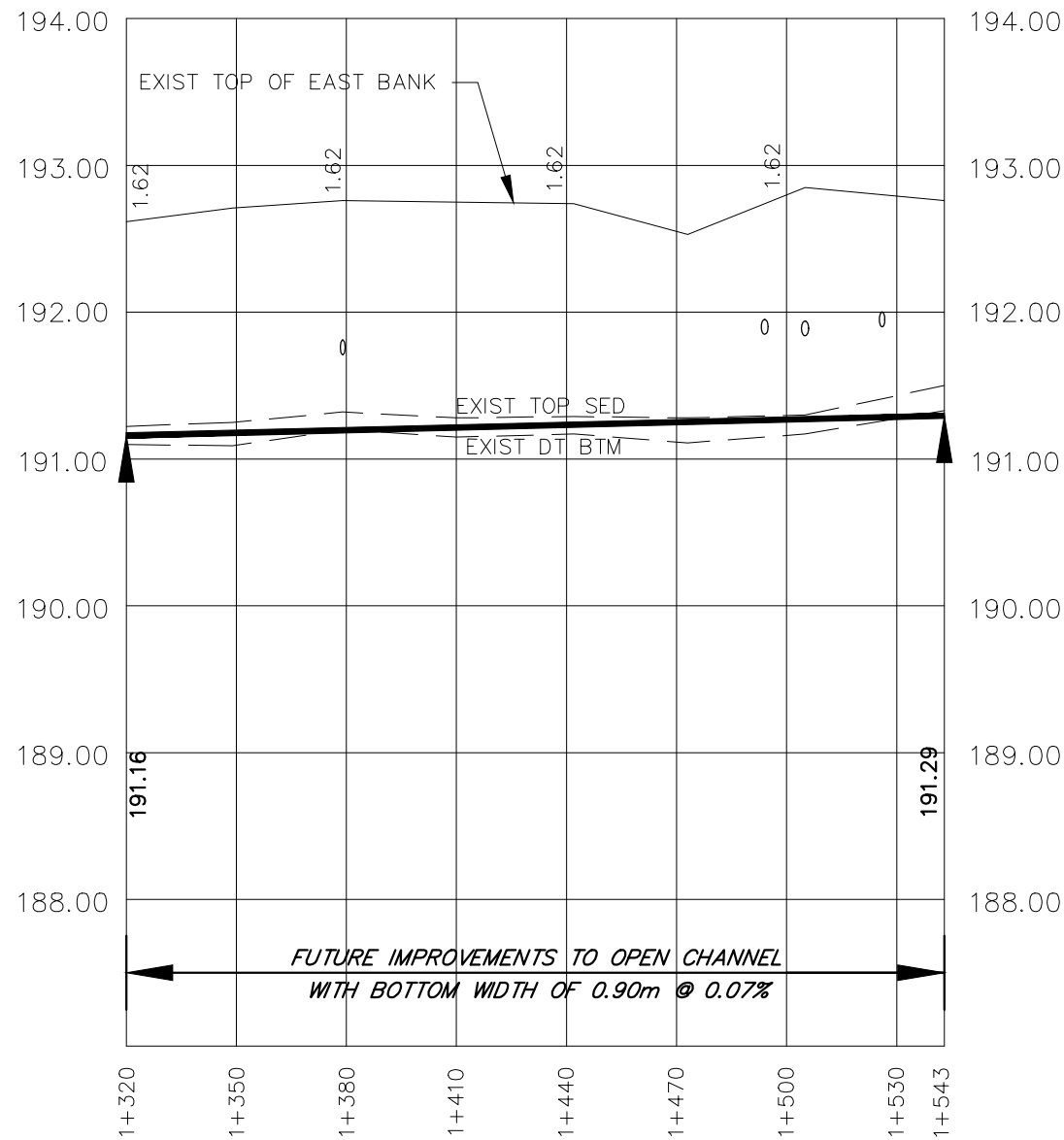
Last Updated: March 1, 2022

GENERAL NOTES

1. BENCHMARK No.1 ELEV. 192.76
TOP NAIL IN UTILITY POLE AT THE
SOUTHEAST CORNER OF THE
INTERSECTION OF SOUTH TALBOT
ROAD AND CONCESSION ROAD 12
2. BENCHMARK No.2 ELEV. 192.74
TOP OF CATCHBASIN AT ST. 1+240
WEST SIDE OF CONCESSION ROAD 12



TYPICAL DRAIN CROSS SECTION
NTS



4218 Oil Heritage Road
Petrolia Ontario, N0N 1R0
Phone: (519) 882-0032 Fax: (519) 882-2233

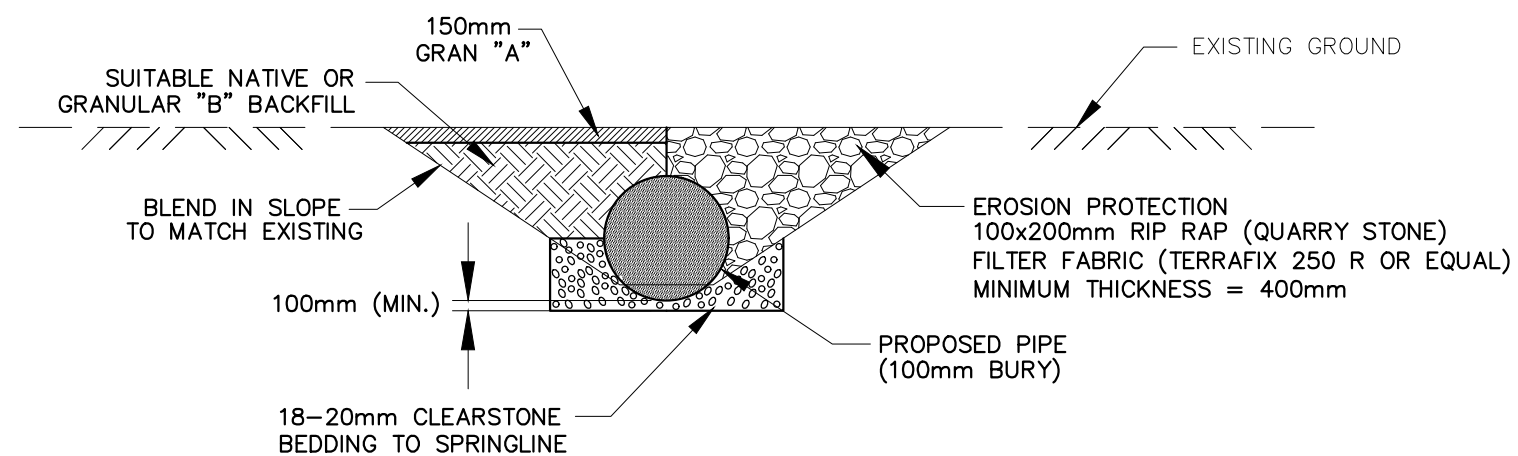
DRAWING NAME:
12th Line Drain Profile 3

PROJECT No.
2021-1301

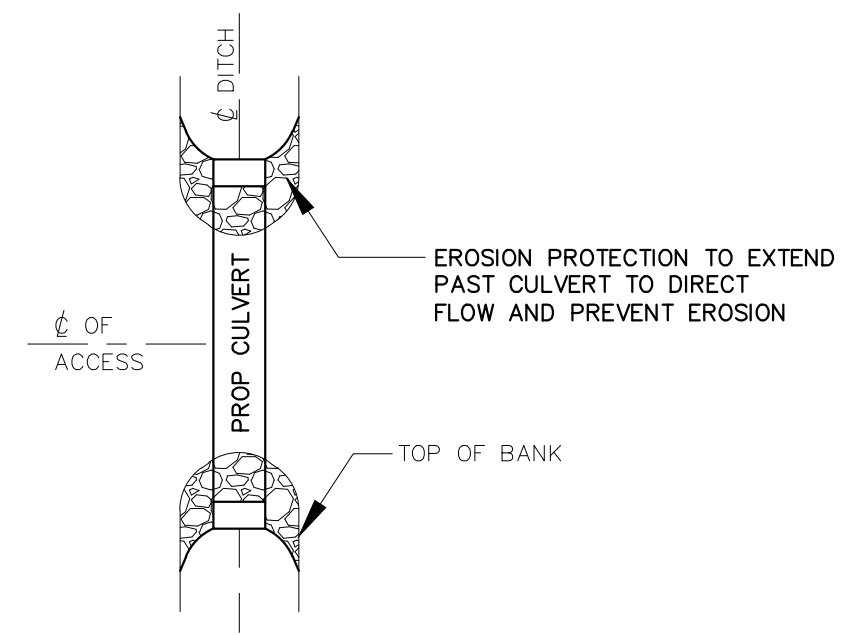
APPROVED J. WARNER	NO.	REVISIONS	DATE	BY
CHECKED B. VAN RUITENBURG	1	FINAL REPORT	MAY 18, 2022	CS
DRAWN C. SAUNDERS	SCALE: 1:2,000 0 20 40 60m			

TOWN of TECUMSEH
12TH LINE DRAIN
PROFILE

8
OF 10

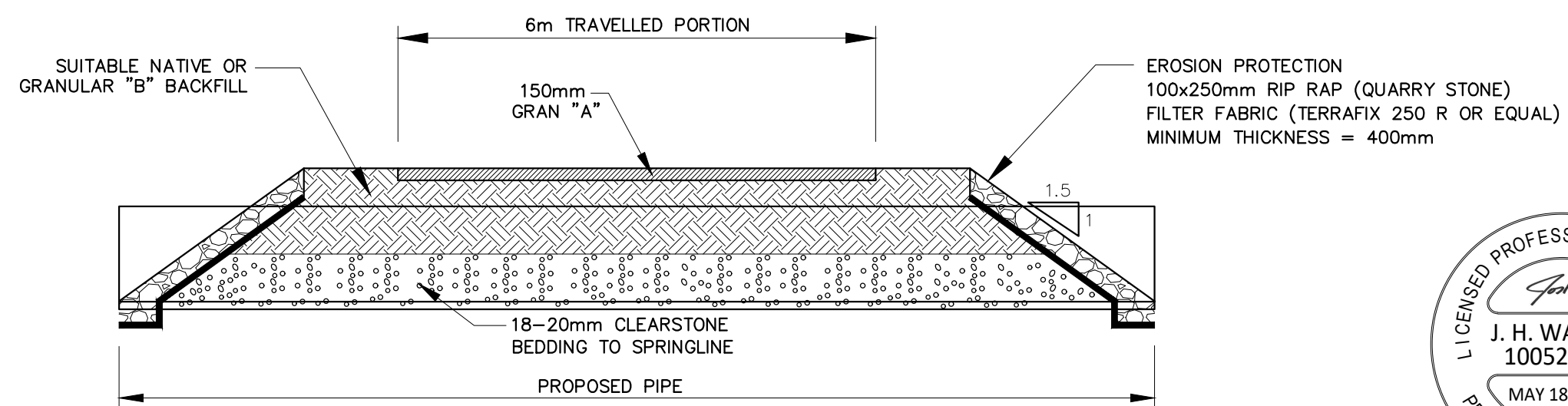


PROPOSED PIPE END SECTION



PROPOSED PLAN
TYPICAL CULVERT

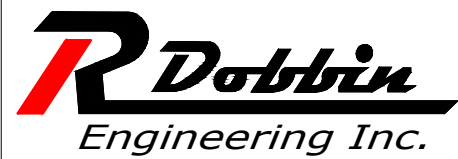
NTS



PROPOSED CROSS-SECTION



NOTE:
ALL GRANULARS COMPACTED
TO 98% MODIFIED PROCTOR DENSITY



4218 Oil Heritage Road
Petrolia Ontario, N0N 1R0
Phone: (519) 882-0032 Fax: (519) 882-2233

DRAWING NAME:
South Talbot Road Drain East and
12th Line Drain Typical Access Culvert Detail

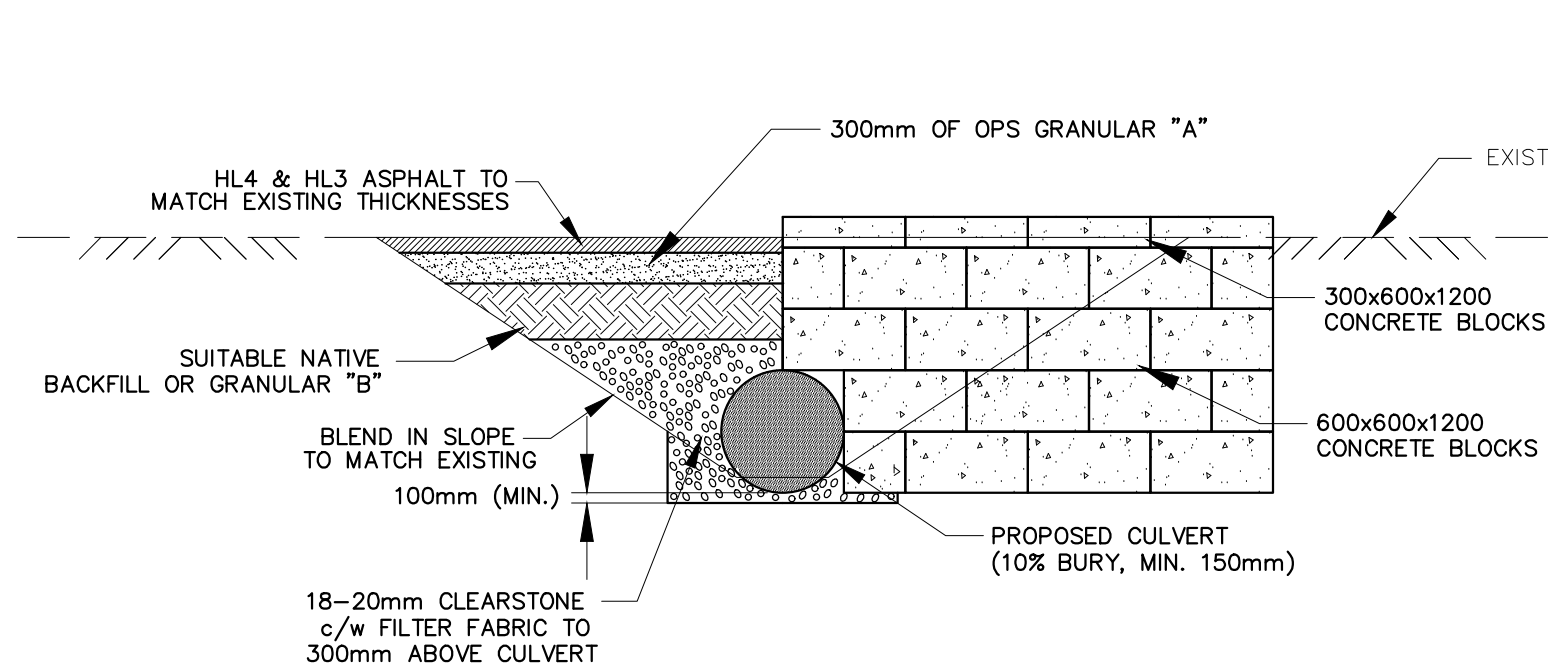
PROJECT No.
2021-1301

APPROVED J. WARNER	NO.	REVISIONS	DATE	BY
CHECKED B. VAN RUITENBURG	1	FINAL REPORT	MAY 18, 2022	JW
DRAWN J. WARNER	SCALE 1:75 0 2m 148			

TOWN of TECUMSEH
SOUTH TALBOT ROAD DRAIN EAST AND 12TH LINE DRAIN
TYPICAL ACCESS CULVERT DETAIL

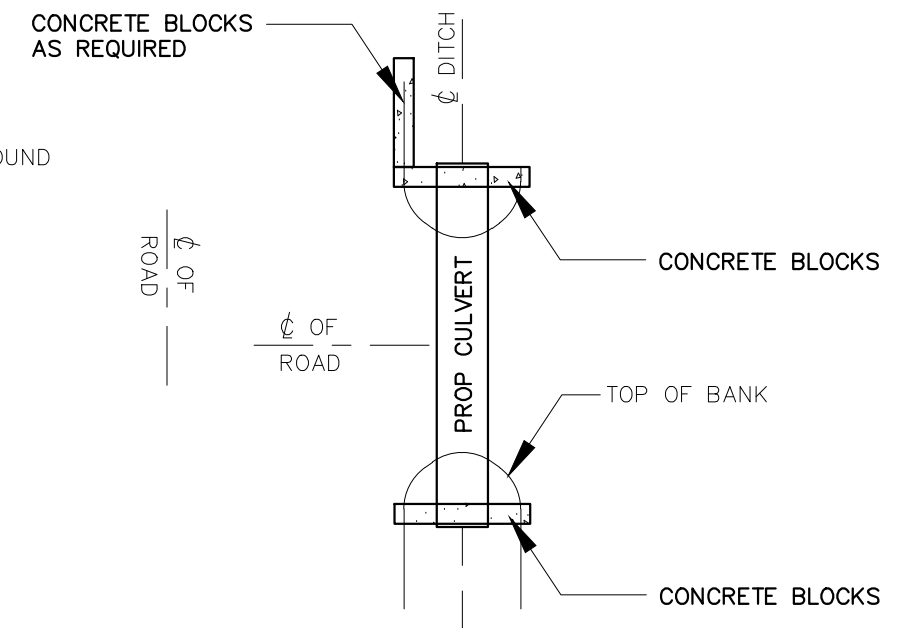
9
OF 10

Last Updated: March 1, 2022



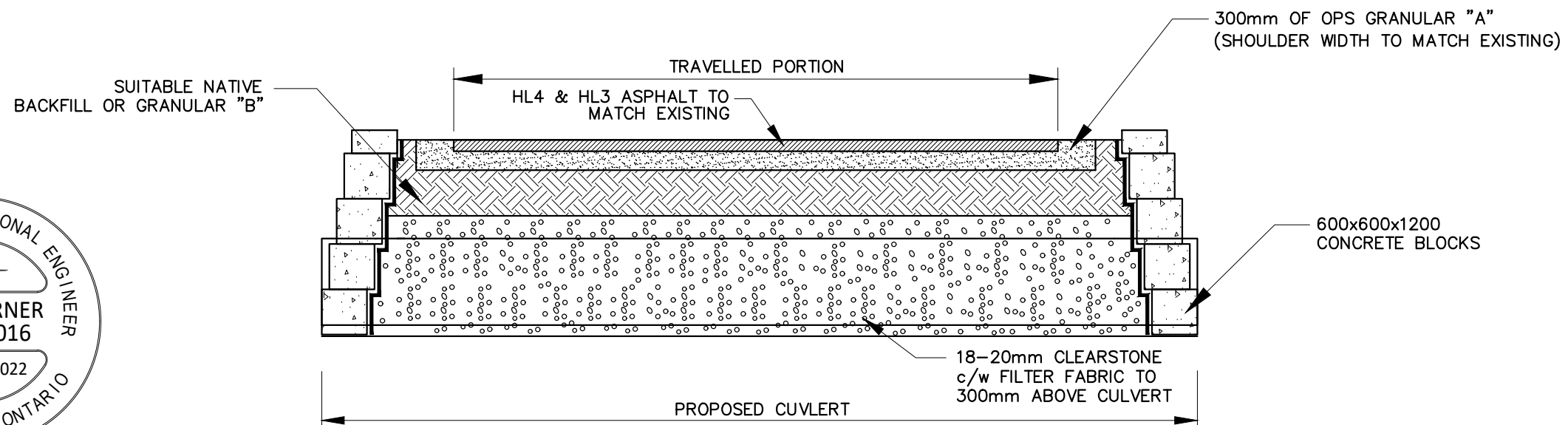
TYPICAL ASPHALT ROAD CUVLERT END SECTION

NTS



TYPICAL ROAD CUVLERT PLAN

NTS



TYPICAL ASPHALT ROAD CROSS-SECTION

NTS

NOTE:
ALL GRANULARS COMPACTED
TO 98% MODIFIED PROCTOR DENSITY



4218 Oil Heritage Road
Petrolia Ontario, N0N 1R0
Phone: (519) 882-0032 Fax: (519) 882-2233

DRAWING NAME:
South Talbot Road Drain East Road Culvert Detail

PROJECT No.
2021-1301

APPROVED J. WARNER	NO.	REVISIONS	DATE	BY
CHECKED B. VAN RUITENBURG	1	FINAL REPORT	MAY 18, 2022	JW
DRAWN J. WARNER	149			

TOWN of TECUMSEH
SOUTH TALBOT ROAD DRAIN EAST
TYPICAL ASPHALT ROAD CULVERT DETAIL

10
OF 10

Last Updated: March 1, 2022

The Corporation of the Town of Tecumseh

By-Law Number 2022 - 029

Being a bylaw to provide for the repair and improvements to the Lachance Drain.

Whereas the Council of The Corporation of the Town of Tecumseh (hereafter "Town") has been requested to provide for the repair and improvement of the Lachance Drain (Lachance Bridge);

And Whereas the Town procured a Drainage Report for the Lachance Drain (Lachance Bridge) and specifications from the consulting engineering firm of Dillon Consulting, dated February 24, 2022 (hereafter "Drainage Report");

And Whereas notice of a Public Meeting to hear comments from the affected property owners was given on Monday, March 28, 2022;

And Whereas a Public Meeting of Council was held on Tuesday, April 26, 2022, at 5:00 pm to hear from any affected property owners on the Drainage Report;

And Whereas the Council of The Corporation of the Town of Tecumseh is of the opinion that the repair and improvement of the Lachance Drain (Lachance Bridge) is desirable;

Now Therefore the Council of The Corporation of The Town of Tecumseh Enacts as follows:

1. **That** the Drainage Report providing for the repair and improvement of the Lachance Drain (Lachance Bridge), dated February 24, 2022, as prepared by the consulting engineering firm Dillon Consulting and attached hereto as Schedule "A" to this by-law, is hereby adopted and the drainage works as therein indicated and set forth is hereby approved and shall be completed in accordance therewith.
2. **That** the Treasurer, subject to the approval of Council, may agree with any bank or person for temporary advances of money to meet the costs of construction pending the completion of the drain and grants and computed payments are received.
3. **That** the Town may issue debentures for the amount borrowed and the amount of such debentures shall be reduced to the total amount of:
 - a) Grants received under Section 85 of the said Act;
 - b) Commuted payments made in respect of land and roads assessed.

4. **That** such debentures shall be made payable within five (5) years from the date of the debenture and shall bear interest at a rate as approved by resolution of Council.
5. **That** the specifications and General Specifications as established are adopted as set out in the Drainage Report which forms part of this by-law.
6. **That** the Mayor and Clerk are authorized to cause a contract for the construction of the works to be made and entered into with some person or persons, firm or corporations, subject to the approval of the Council to be declared by resolution.
7. **That** this by-law shall come into force upon and after the final passing thereof.

Read a first and second time this 26th day of April, 2022.

Gary McNamara

Signed with ConSignO Cloud (2022/04/27)
Verify with verifio.com or Adobe Reader.



Gary McNamara, Mayor

Laura Moy

Signed with ConSignO Cloud (2022/04/27)
Verify with verifio.com or Adobe Reader.



Laura Moy, Clerk

Read a third and final time this 12th day of July, 2022.

Gary McNamara, Mayor

Laura Moy, Clerk

**DRAINAGE REPORT
FOR THE**

**LACHANCE DRAIN
(LACHANCE BRIDGE)**

TOWN OF TECUMSEH



(FINAL – COUNCIL CONSIDERATION)

24 FEBRUARY 2022

MARK D. HERNANDEZ, P.ENG.

DILLON FILE No. 21-2752

TECUMSEH FILE NO. E09LA(49)

File No. 21-2752

Mayor and Council
The Corporation of the Town of Tecumseh
917 Lesperance Road
Tecumseh, Ontario N8N 1W9



**Drainage Report for the
LACHANCE DRAIN
(LACHANCE BRIDGE)
Town of Tecumseh**

Ladies & Gentlemen:

Instructions

The Municipality received a request for a new residential access and lawn enclosure serving Pt. Lot 148, Concession 3 (Roll No. 570-34700) over the Lachance Drain that was filed at the Municipal Office on the 30th day of April 2021. Council accepted the request under Section 78 of the Drainage Act and on the 27th day of July 2021 appointed Dillon Consulting Limited to prepare a report. The new bridge is required as part of a recent severance. As part of the conditions of severance from the Town to allow the severance of property Roll No. 570-34700, a new bridge is required to provide access. The landowner also requested the enclosure of the drain along the entire frontage of the lot measuring approximately 46 metres.

Watershed Description

The Lachance Drain commences along the south side of Intersection Road at Shawnee Road where it flows westerly through a storm drain pipe to approximately the western boundary of Lot 148 where it begins to flow in an open channel until the centre of Lot 140. It then flows southerly for 243 metres and continuing as an open channel flowing westerly for 796 metres where it outlets into the Little River Drain.

The land comprising the watershed is under primarily residential use. From the Ontario Soil Survey (provided by the Ontario Ministry of Agriculture, Food and Rural Affairs), the principle surficial soil in the study area is described as Brookston Clay. Brookston clay is characterized as a very slow draining soil type. The residential lands located upstream consists of a storm sewer network which outlets into the Lachance Drain at its upstream end being Shawnee Road.

Drain History

The recent history of Engineers' reports for the Lachance Drain follows:

- **3 May 2019 by Mark D. Hernandez, P.Eng.:** This report recommended the repair and improvement of the entire drain including provisions for future maintenance of the five (5) existing bridges.
- **7 September 1988 by Lou Zarlenga, P.Eng.:** This report recommends the improvement of the entire drain including the replacement of all culverts. The existing drain including culverts was found to be in disrepair. Further, a proposed residential development at the upstream end of the Lachance Drain required the improvements which were in addition to the maintenance activities. The report included a recommendation that all excess excavated material be trucked away.
- **3 August 1968 by C.G.R. Armstrong, P.Eng.:** This report recommended the repair and improvement of the drain.

On-Site Meeting

Site meeting was held on 31 August 2021. A record of this meeting is provided in Schedule 'A', which is appended hereto.

Survey

Our initial survey and examination of the Lachance Drain was carried out on 26 March 2018 as part of the survey conducted for the previous 2019 Lachance Drain report. The work was then reviewed as part of the completed construction. As the work was recently completed, this report is based on the drain being in an 'as-designed' condition.

Design Considerations

The Design and Construction Guidelines published by the Ontario Ministry of Agriculture, Food and Rural Affairs (OMAFRA) recommends that open drainage systems and drain crossings serving residential lands be designed to effectively contain and convey the peak runoff generated from a storm event having a frequency of occurrence of 1 in 5 years. The new access bridge is designed for an upstream drainage area of approximately 11.11 ha. (27.46 acres).

In our opinion, these design standards should provide a reasonable level of service, but it should be clearly understood that runoff generated from large storms or fast snow melts may sometimes exceed the capacity of the proposed systems and result in surface ponding for short periods of time.

Allowances


In accordance with Sections 29 and 30 of the Drainage Act, we do not anticipate any agricultural lands being damaged or taken as a result of the proposed drainage works. Any damage to the area shall be restored to original condition as part of the work. Therefore, 'Schedule B' for Allowances has not been included in this report.



Recommendations and Cost Estimate

Based on our review of the history, the information obtained during the site meeting and our examination and analysis of the survey data, we recommend that the Lachance Drain be repaired and improved as described below:

Item	Description	Amount
1.	Removal and disposal off site of existing concrete jute bag headwall.	\$1,000.00
2.	Supply and place a new 46.0 m long, 900 mm diameter solid, corrugated, high density polyethylene (HDPE) smooth interior dual wall profile pipe (Armtex Boss 2000, 320 kPa or approved equal) (see Specifications) with bell & spigot joining system providing a 6.1 m (20 ft.) driveable top width and the remainder as lawn enclosure.	\$22,100.00
3.	Supply and installation of a large diameter coupler (Fernco Connectors Ltd. LDC-46.50 x 42.80 or approved equal) to connect existing 900 mm diameter concrete pipe to new 900 mm diameter HDPE.	\$1,000.00
4.	Supply and installation of three (3) new 450 mm diameter solid corrugated high density polyethylene (HDPE) smooth wall (Boss 2000 or approved equal) offset yard catch basins along the enclosure with minimum 600 mm deep sump, complete with cast iron grate, 150 mm diameter HDPE pipe lead and connection to drain with a prefabricated tee. Work includes fine grading and seeding of disturbed areas. Locations to be field fit based on site specific grading and in consultation with the homeowner.	\$4,500.00



Item	Description	Amount
5.	Supply and placement of clear stone bedding materials, minimum 150 mm thickness (approximately 35 tonnes).	\$1,900.00
6.	Supply and placement of Granular 'B' backfill materials up to springline of pipe for enclosure portion and full Granular 'B' backfill to underside of driveway materials for driveway portion (approximately 165 tonnes).	\$4,650.00
7.	Supply and placement of clean native or imported clean native backfill material from springline of pipe culvert up to the existing grade beyond the driveway portion and native buffer strip (approximately 270 m ³).	\$4,400.00
8.	Supply and install Granular 'A' (crushed limestone) compacted driveway surface, minimum 200 mm thickness (approximately 40 tonnes).	\$1,650.00
9.	Supply and placement of stone rip-rap minimum 300 mm thickness c/w filter cloth underlay for sloping end wall (approximately 20 m ²).	\$1,600.00
10.	Supply and placement of topsoil (100 mm minimum thickness). Restore all disturbed areas with fine grading and seeding (approximately 460 m ²).	\$2,750.00
11.	Excavate sediment trap located immediately downstream of new culvert (3 m long x 1 m wide x 0.3 m deep) complete with rock flow check dam on downstream side (1 m long x 2 m wide x 0.3 m high) (approximately 5 tonnes). The work shall include trucking of excavated materials off-site.	\$500.00
12.	Temporary silt control measures during construction.	<u>\$800.00</u>
	SUB-TOTAL – EXCLUDING SECTION 26 COSTS	\$46,850.00
13.	Survey, report, assessment and final inspection (cost portion)	\$8,500.00
14.	Expenses and incidentals (cost portion)	\$500.00
15.	ERCA application, review and permit fee	<u>\$500.00</u>
	TOTAL ESTIMATE – LACHANCE DRAIN	\$56,350.00

The estimate provided in this report excludes applicable taxes and was prepared according to current materials and installation prices as of the date of this report. In the event of delays from the time of filing of the report by the Engineer to the time of tendering the work, it is understood that the estimate of cost is subject to inflation. The rate of inflation shall be calculated using the Consumer Price Index applied to the cost of construction from the date of the report to the date of tendering.

Assessment of Costs

The individual assessments are comprised of three (3) assessment components:

- i. Benefit (*advantages relating to the betterment of lands, roads, buildings, or other structures resulting from the improvement to the drain*).
- ii. Outlet Liability (*part of cost required to provide outlet for lands and roads*).
- iii. Special Benefit (*additional work or feature that may not affect function of the drain*).

We have assessed the estimated costs against the affected lands and roads as listed in Schedule 'C' under "Value of Special Benefit", "Value of Benefit" and "Value of Outlet." Details of the Value of Special Benefit listed in Schedule 'C' are provided in Schedule 'D'.

Assessment Rationale

Special Benefit assessment shown in Schedule 'C' and detailed in Schedule 'D' were derived as follows:

1. We recommend that the costs of the new driveway access portion including the engineering cost apportionment be assessed 100% to the severed lot landowner.
2. We recommend that the costs of the new lawn enclosure portion including the engineering cost apportionment be assessed 100% to the severed lot landowner.

The yard catchbasins are part of the required works, but are not considered part of the Lachance Drain for purposes of future improvements or maintenance.

Utilities

It may become necessary to temporarily or permanently relocate utilities that may conflict with the construction recommended under this report. In accordance with Section 26 of the Drainage Act, we assess any relocation cost against the public utility having jurisdiction.

Under Section 69 of the Drainage Act, the public utility is at liberty to do the work with its own forces, but if it should not exercise this option within a reasonable time, the Municipality will arrange to have this work completed and the costs will be charged to the appropriate public utility.



Future Maintenance

We recommend that all future work for repair and maintenance of the access bridge's driveway portion (westerly 11 m length) be carried out by the Town of Tecumseh and assessed 50% against the affected property as a special benefit assessment. The remaining 50% shall be assessed to the upstream lands and roads as Outlet assessment in the same relative proportions listed in Schedule 'E.' The Schedule of Assessment has been developed on the basis of an arbitrary cost of \$10,000.00 for the Outlet assessment portion.

For the lawn enclosure portion (easterly 35 m length), we recommend that all future work of repair and maintenance be carried out by the Town of Tecumseh and assessed 100% against the respective property.

These provisions for maintenance are subject, of course, to any variations that may be made under the authority of the Drainage Act.

Drawings and Specifications

Attached to this report is Schedule 'F', which are specifications setting out the details of the recommended works and Schedule 'G' which represent the drawings that are attached to this report.

Page 1 of 3 - Watershed Plan

Page 2 of 3 - Bridge Details

Page 3 of 3 - Details

Approvals

The construction and/or improvement to drainage works, including repair and maintenance activities, and all operations connected there are subject to the approval, inspection, by-laws and regulations of all Municipal, Provincial, Federal and other authorities having jurisdiction in respect to any matters embraced by the proposed works. Prior to any construction or maintenance works, the Municipality or proponent designated on the Municipality's behalf shall obtain all required approvals/permits and confirm any construction limitations including timing windows, mitigation/off-setting measures, standard practices or any other limitations related to in-stream works.

Grants

No grant eligibility for the entire access bridge capital costs as per ADIP policy section 2.3(i)(ii). Concerning future maintenance, there is no grant eligibility for the lawn enclosure portion of the access bridge as per ADIP policy section 2.3(f).

Grant eligibility may apply to future maintenance costs of the driveway portion of the access bridge. We recommend that application be made to the Ontario Ministry of Agriculture and Food in accordance with Section 88 of the Drainage Act, for this grant, as well as for all other grants for which this work may be eligible.

Respectfully submitted,

DILLON CONSULTING LIMITED



Mark D. Hernandez, P.Eng.

MDH: wlb:lld



Lachance Drain – Onsite Meeting Notes

Tuesday, August 31, 2021 – Virtual Site Meeting.

Attendance: Sam Paglia, MDH,

Erin Armstrong - Landowner

Johnny Kaps - Landowner

Julie Lachance - Landowner

Gordon and Marlene Hambly - Landowner

General discussion regarding the Drainage Act

- ‘User Pay System’ unlike sewers owned by the municipality
- The process can generally be described as follows:
 - Request submitted
 - Engineer is appointed by the municipality
 - Site meeting held
 - Report prepared
 - PIC (not required by the Act)
 - Meeting to Consider
 - Court of Revision

What is the purpose of the site meeting in general?

- Gather information
 - Opportunity for landowners to provide feedback about the performance of the drain
 - Issues are not anticipated in this case since the drain was recently maintained.

What is the nature of the request(s)?

- S78 request from landowner to enclose a portion of drain fronting a residential property
 - Driveway and lawn enclosure
- Sam showed location on screen. Location is at approximately 2+288.

Who is going to pay and how?

- For the current request, new access culverts and lawn enclosures are paid 100% by the requesting landowner.
 - When there is an existing access culvert, a replacement becomes shared 50/50
 - Lawn enclosures are always 100% to the landowner as they are not considered essential / Special Benefit.
 - If any further work was required or requested, then that would be assessed separately. No additional work has been requested by other landowners.
- The engineer determines the assessment
 - Assessment is detailed in report for each property in the watershed
- Grants are available for properties with Farm Class Tax Rate (1/3)
 - Does not apply to residential properties
- The Municipality will bill the landowners after the work is complete for their net assessment (if applicable)
- The report will have a future maintenance schedule – it is used to show the proportion of costs assessable to upstream landowners for future maintenance of the work – only assessed based on actual costs incurred.
- Director of finance has made it so that now if under \$50, it is added to taxes but notice is still provided.
- Landowner asked about recent assessment. Town confirmed that was their share of the costs for the work recently completed on the LaChance and was a one-time cost for that work.
-

What should I expect in the report?

- All landowners receive copies of the draft report with their notice for the PIC (if required), Meeting to Consider and Court of Revision
- Reports generally contain:
 - Background information about the request
 - History on the drain
 - Design considerations
 - Recommended work
 - Cost estimate
 - Meeting minutes
 - Assessments including FM provisions
 - Specifications
- Will be printed and distributed in paper copies.

Environmental requirements

- DFO, MNRF and ERCA

- DFO has been sensitive about enclosures of open drains as it is seen as loss of habitat. This is something that will have to be reviewed with our biologists early in the process.

Next Steps

- Topographical survey will be completed and then the preparation of the report will commence
- PIC (if required)
- Board meetings
- Landowners have the ability to appeal technical aspects or assessment.

"SCHEDULE C"
SCHEDULE OF ASSESSMENT
LACHANCE DRAIN (LACHANCE BRIDGE)
TOWN OF TECUMSEH

MUNICIPAL LANDS:

Description	Area Affected (Acres) (Ha.)		Owner	Special Benefit	Benefit	Outlet	Total Assessment
Block 'A'							
Lands	18.66	7.55	Town of Tecumseh	\$0.00	\$0.00	\$0.00	\$0.00
Roads	6.08	2.46	Town of Tecumseh	\$0.00	\$0.00	\$0.00	\$0.00
Total on Municipal Lands.....				\$0.00	\$0.00	\$0.00	\$0.00

PRIVATELY-OWNED - NON-AGRICULTURAL LANDS:

Roll No.	Con.	Description	Area Affected (Acres) (Ha.)		Owner	Special Benefit	Benefit	Outlet	Total Assessment
570-34700 (Severed Parcel)	3	Pt. Lot 148	0.55	0.22	Clement & Jeannette Lachance	\$56,350.00	\$0.00	\$0.00	\$56,350.00
Total on Privately-Owned - Non-Agricultural Lands.....						\$56,350.00	\$0.00	\$0.00	\$56,350.00

PRIVATELY-OWNED - AGRICULTURAL LANDS

Roll No.	Con.	Description	Area Affected (Acres) (Ha.)		Owner	Special Benefit	Benefit	Outlet	Total Assessment
570-34700	3	Pt. Lot 148	2.17	0.88	Clement & Jeannette Lachance	\$0.00	\$0.00	\$0.00	\$0.00
Total on Privately-Owned - Agricultural Lands (Grantable).....						\$0.00	\$0.00	\$0.00	\$0.00

TOTAL ASSESSMENT (Town of Tecumseh) **\$56,350.00** **\$0.00** **\$0.00** **\$56,350.00**

	(Acres)	(Ha.)
Total Area:	27.46	11.11

"SCHEDULE D"
DETAILS OF SPECIAL BENEFIT
LACHANCE DRAIN (LACHANCE BRIDGE)
TOWN OF TECUMSEH

SPECIAL BENEFIT ASSESSMENT
(NON - AGRICULTURAL LANDS)

Roll No.	Owner	Item Description	Estimated Cost	Cost of Report	Special Benefit
570-34700 (Severed Parcel)	Clement & Jeanette Lachance	<u>Driveway Portion</u> - Supply & install new 11.0 m long, 900 mm diameter HDPE pipe complete with clearstone bedding , full Granular 'B' backfill, Granular 'A' driveway surface and end wall providing a 6.1 m (20 ft.) driveable top width. (100%)	\$15,600.00	\$3,163.00	\$18,763.00
570-34700 (Severed Parcel)	Clement & Jeanette Lachance	<u>Lawn Enclosure Portion</u> - Supply & install new 35.0 m long, 900 mm diameter HDPE pipe complete with clearstone bedding, Granular 'B' backfill material up to pipe springline, native material backfill, three (3) yard catch basins, sediment trap and restoration topsoil & seeding (100%)	\$31,250.00	\$6,337.00	\$37,587.00
Total Special Benefit Assessment (Non - Agricultural Lands).....			\$46,850.00	\$9,500.00	\$56,350.00

"SCHEDULE E"
SCHEDULE OF ASSESSMENT FOR FUTURE MAINTENANCE
LACHANCE DRAIN (LACHANCE BRIDGE-DRIVEWAY PORTION ONLY)
TOWN OF TECUMSEH

MUNICIPAL LANDS:

Description	Area Affected (Acres) (Ha.)		Owner	Special Benefit	Benefit	Outlet	Total Assessment
Block 'A'							
Lands	18.66	7.55	Town of Tecumseh	\$0.00	\$0.00	\$6,211.00	\$6,211.00
Roads	6.08	2.46	Town of Tecumseh	\$0.00	\$0.00	\$3,373.00	\$3,373.00
Total on Municipal Lands.....				\$0.00	\$0.00	\$9,584.00	\$9,584.00

PRIVATELY-OWNED - NON-AGRICULTURAL LANDS:

Roll No.	Con.	Description	Area Affected (Acres) (Ha.)		Owner	Special Benefit	Benefit	Outlet	Total Assessment
570-34700 (Severed Parcel)	3	Pt. Lot 148	0.55	0.22	Clement & Jeannette Lachance	\$0.00	\$0.00	\$175.00	\$175.00
Total on Privately-Owned - Non-Agricultural Lands.....						\$0.00	\$0.00	\$175.00	\$175.00

PRIVATELY-OWNED - AGRICULTURAL LANDS (GRANTABLE)

Roll No.	Con.	Description	Area Affected (Acres) (Ha.)		Owner	Special Benefit	Benefit	Outlet	Total Assessment
570-34700	3	Pt. Lot 148	2.17	0.88	Clement & Jeannette Lachance	\$0.00	\$0.00	\$241.00	\$241.00
Total on Privately-Owned - Agricultural Lands (Grantable).....						\$0.00	\$0.00	\$241.00	\$241.00
TOTAL ASSESSMENT.....						\$0.00	\$0.00	\$10,000.00	\$10,000.00

	(Acres)	(Ha.)
Total Area:	27.46	11.11

“SCHEDULE F”
DRAINAGE REPORT FOR THE
LACHANCE DRAIN (LACHANCE BRIDGE)
IN THE TOWN OF TECUMSEH

SPECIAL PROVISIONS - GENERAL

1.0 GENERAL SPECIFICATIONS

The General Specifications attached hereto is part of “Schedule F.” It also forms part of this specification and is to be read with it, but where there is a difference between the requirements of the General Specifications and those of the Special Provisions which follow, the Special Provisions will take precedence.

2.0 DESCRIPTION OF WORK

The work to be carried out under this Contract includes, but is not limited to, the supply of all **labour, equipment and materials** to complete the following items:

- Removal and disposal off site of existing concrete jute bag headwall.
- Supply and place a new 46.0 m long, 900 mm diameter solid, corrugated, high density polyethylene (HDPE) smooth interior dual wall profile pipe (Armtec Boss 2000, 320 kPa or approved equal) (see Specifications) with bell & spigot joining system providing a 6.1 m (20 ft.) driveable top width and the remainder as lawn enclosure.
- Supply and installation of a large diameter coupler (Fernco Connectors Ltd. LDC-46.50 x 42.80 or approved equal) to connect existing 900 mm diameter concrete pipe to new 900 mm diameter HDPE.
- Supply and installation of three (3) new 450 mm diameter solid corrugated high density polyethylene (HDPE) smooth wall (Boss 2000 or approved equal) offset yard catch basins along the enclosure with minimum 600 mm deep sump, complete with cast iron grate, 150 mm diameter HDPE pipe lead and connection to drain with a prefabricated tee. Work includes fine grading and seeding of disturbed areas. Locations to be field fit based on site specific grading and in consultation with the homeowner.
- Supply and placement of clear stone bedding materials, minimum 150 mm thickness (approximately 35 tonnes).
- Supply and placement of Granular 'B' backfill materials up to springline of pipe for enclosure portion and full Granular 'B' backfill to underside of driveway materials for driveway portion (approximately 165 tonnes).

- Supply and placement of clean native or imported clean native backfill material from springline of pipe culvert up to the existing grade beyond the driveway portion and native buffer strip (approximately 270 m³).
- Supply and install Granular 'A' (crushed limestone) compacted driveway surface, minimum 200 mm thickness (approximately 40 tonnes).
- Supply and placement of stone rip-rap minimum 300 mm thickness c/w filter cloth underlay for sloping end wall (approximately 20 m²).
- Supply and placement of topsoil (100 mm minimum thickness). Restore all disturbed areas with fine grading and seeding (approximately 460 m²).
- Excavate sediment trap located immediately downstream of new culvert (3 m long x 1 m wide x 0.3 m deep) complete with rock flow check dam on downstream side (1 m long x 2 m wide x 0.3 m high) (approximately 5 tonnes). The work shall include trucking of excavated materials off-site.
- Temporary silt control measures during construction.

3.0 ACCESS TO THE WORK

Access to the drain shall be from Intersection Road. Through traffic must be maintained at all times along municipal roads with the required traffic control as per Section 13.0 in General Specifications.

Any damage resulting from the Contractor's access to the drain enclosure site shall be rectified to pre-existing conditions at his expense.

4.0 WORKING AREA

The working area for construction purposes shall be restricted to the Intersection Road right-of-way and a 6 metre wide corridor located on the severed parcel adjacent to roadway for the entire length of the new culvert.

5.0 PRIVATE ACCESS BRIDGE CONSTRUCTION

5.1. Location of New Bridge

The new drain enclosure shall be installed as shown on the drawings attached hereto.

5.2. Materials for New Bridge

Materials shall be as follows:

<i>Culvert Pipe</i>	<i>New 46.0 metres long, 900 mm diameter solid (non-perforated corrugated High Density Polyethylene (H.D.P.E.) smooth wall interior (Armtec Boss 2000 for approved equivalent) unless otherwise specified conforming to the following specifications: ASTM @ 3350, CSA B182.8-02 and OPSS 1840. The pipe is to provide a minimum pipe stiffness of 320 kPa.</i> <i>Joined using (soil tight) "gasketed bell & spigot" Ultra Stab joining system (as manufactured by Armtec Limited or approved equal), supplied by the pipe manufacturer and conforming to ASTM D3350, CSA 182.8-02 and OPSS 1840.</i>
<i>Pipe Bedding Below Pipe</i>	<i>20-25 mm clear stone conforming to OPSS Division 10.</i>
<i>Backfill up to Pipe Culvert Springline for Lawn Enclosure</i>	<i>Granular 'B' conforming to OPSS Division 10.</i>
<i>Backfill Above Pipe Springline up to Surface Grade for Lawn Portion</i>	<i>Dry native material free of topsoil, organic matter, broken concrete, steel, wood and deleterious substances. Alternatively, Granular 'A' or 'B' conforming to OPSS Division 10 at the Contractor's expense.</i>
<i>Backfill up to underside of Driveway Surface Materials for Driveway Portion</i>	<i>Granular 'B' conforming to OPSS Division 10.</i>
<i>Driveway Surface</i>	<i>Granular 'A' made from crushed limestone conforming to OPSS Division 10. Minimum 200 mm thickness.</i>
<i>Erosion Stone</i>	<i>All stone to be used for erosion protection shall be 125 - 250 mm clear quarried rock or OPSS 1004, minimum 300 mm thickness.</i>
<i>Buffer Strips</i>	<i>Dry native material free of topsoil, organic matter, broken concrete, steel, wood and deleterious substances.</i>
<i>Filter Fabric</i>	<i>"Non-Woven" geotextile filter fabric with a minimum strength equal to or greater than Terrafix 270R, Amoco 4546, Mirafi 140NC or approved equivalent.</i>

5.3. Culvert Installation

Suitable dykes shall be constructed in the drain so that the installation of the pipe can be accomplished in the dry. The drain bottom shall be cleaned, prepared, shaped and compacted to suit the new culvert configuration, as shown on the drawings. Granular materials shall be compacted to 100% of their maximum dry density; imported clean native materials shall be supplied, placed and compacted to 95% of their maximum dry density.

5.4. Large Diameter Coupler

The Contractor shall supply and install the custom Fernco Ltd. large diameter coupler complete with all appurtenances (or approved equal) to join the existing 900 mm diameter concrete pipe to the new 900 mm diameter HDPE pipe as per the manufacturer's specifications.

5.5. New Yard Catch Basins (YCB)

The Contractor shall arrange for the supply and installation of three (3) 450 mm diameter solid corrugated high density polyethylene (HDPE) smooth wall 320 kPa pipe (Boss 2000 or approved equal) yard catch basin complete with a 450 mm diameter cast iron grate and 150 mm diameter solid corrugated high density polyethylene (HDPE) smooth wall 320 kPa (or approved equal) connection to the catch basin using a prefabricated HDPE tee.

The base of the yard catch basin shall consist of a minimum layer of 300 mm of 19 mm clearstone. The base elevation shall be at least 600 mm below the invert of the outlet pipe in the wall of the catch basin.

Yard catch basins shall be backfilled with clean native materials in maximum lifts of 300 mm lifts and compacted to 98% of the maximum standard proctor density. Locations to be field fit based on site specific grading and in consultation with the homeowner.

5.6. Sediment Trap

A sediment trap and rock check dam shall be installed at the downstream end of the proposed works prior to commencing construction. The location and exact dimensions of the sediment trap and rock check dam will be confirmed with the Drainage Superintendent prior to installation. Installation shall be in accordance with OPSD 219.220 with the modifications to size as discussed with the Drainage Superintendent.

5.7. Sloping Stone End Walls

End walls shall be constructed of quarry stone rip-rap, as shown on the drawings and as specified herein. Each end wall shall extend from the invert of the new culvert to the top of the proposed lane. The end walls shall be sloped 1 vertical to 1.5 horizontal, with a filter fabric underlay surrounding the pipe and spanning across the entire width of the drain and wrapping around the drain banks to align with the ends of the new pipe culvert. The minimum thickness requirement of the erosion stone layer is 300 mm, with no portion of the filter fabric to be exposed to sunlight.

5.8. Granular 'A' Driveway

The Contractor shall construct the driveway with a maximum 3% cross-fall grade consisting of a minimum 200 mm thickness of compacted Granular 'A' (crushed limestone) surface.

The minimum top width of the driveway shall be as shown on the drawings.

5.9. Imported, Clean Native Materials

Clean native materials suitable for use as backfill, as defined under Section 5.2, shall be imported to enclose the drain as required to complete the work as shown on the drawings.

5.10. Lateral Tile Drains

Should the Contractor encounter any lateral tiles within the proposed culvert limits not shown on attached drawings, the Contractor shall re-route the outlet tile drain(s) in consultation with the Drainage Superintendent, as required, to accommodate the new culvert.

Tile drain outlets through the wall of the new culvert pipe will not be permitted. All costs associated with re-routing lateral tile drains (if any) shall be at the Contractor's expense.

Care must be taken in handling plastic drain pipe in cold weather to avoid causing damage.

Plastic drain pipe shall be held in position on planned grade immediately after installation by careful placement of backfill material.

5.11. Seeding

The Contractor shall seed all disturbed grassed lawn areas including buffer strips, existing lawns and grassed areas within the road allowance. Topsoil shall be salvaged from the site and/or trucked to site to provide a minimum of 100 mm of topsoil in all lawn areas.

Prior to seeding, all areas to be seeded shall be fine graded, and loosened to a minimum depth of 25 mm and shall be rendered uniformly loose for that 25 mm depth. The surface shall be predominantly fine graded and free from weeds and other unwanted vegetation. All other loose surface litter shall be removed and disposed of.

Grass seed shall be Canada No. 1 residential lawn grass seed mixture, as follows:

<i>Creeping Red Fescue</i>	30%
<i>Premium Kentucky Bluegrass</i>	25%
<i>Turf-type Perennial Rye Grass</i>	45%

Bags shall bear the label of the supplier indicating the content by species, grade and mass. Seed shall be applied at a rate of 200 kg per 10,000 m². Fertilizer shall be 8-32-16 applied at 350 kg per 10,000 m². It shall be in granular form, dry, free from lumps and in bags bearing the label of the manufacturer, indicating mass and analysis.

Seeding shall be carried out immediately following the bridge construction and shall be drilled into the topsoil layer. The contractor shall note that seeding will not be deemed complete, until the seed has established and formed a protective mat over the soil. Accordingly, the Contractor will be required to continue seeding until the Engineer and the Drainage Superintendent are satisfied with the area seeded under this item.

5.12. Site Cleanup and Restoration

As part of the work and upon completion, the Contractor shall remove and dispose of, off-site any loose timber, logs, stumps, large stones, rubber tires, cinder blocks or other debris from the drain bottom and from the side slopes. Where the construction works cross a lawn, the Contractor shall take extreme care to avoid damaging the lawn, shrubs and trees encountered. Upon completion of the work, the Contractor shall completely restore the area by the placement and fine grading of topsoil and seeding or sodding the area as specified by the Engineer or Drainage Superintendent.

GENERAL SPECIFICATIONS

1.0 AGREEMENT AND GENERAL CONDITIONS

The part of the Specifications headed "Special Provisions" which is attached hereto forms part of this Specification and is to be read with it. Where there is any difference between the requirements of this General Specification and those of the Special Provisions, the Special Provisions shall govern.

Where the word "Drainage Superintendent" is used in this specification, it shall mean the person or persons appointed by the Council of the Municipality having jurisdiction to superintend the work.

Tenders will be received and contracts awarded only in the form of a lump sum contract for the completion of the whole work or of specified sections thereof. The Tenderer agrees to enter into a formal contract with the Municipality upon acceptance of the tender. The General Conditions of the contract and Form of Agreement shall be those of the Stipulated Price Contract CCDC2-Engineers, 1994 or the most recent revision of this document.

2.0 EXAMINATION OF SITE, PLANS AND SPECIFICATIONS

Each tenderer must visit the site and review the plans and specifications before submitting his/her tender and must satisfy himself/herself as to the extent of the work and local conditions to be met during the construction. Claims made at any time after submission of his/her tender that there was any misunderstanding of the terms and conditions of the contract relating to site conditions, will not be allowed. The Contractor will be at liberty, before bidding to examine any data in the possession of the Municipality or of the Engineer.

The quantities shown or indicated on the drawings or in the report are estimates only and are for the sole purpose of indicating to the tenderers the general magnitude of the work. The tenderer is responsible for checking the quantities for accuracy prior to submitting his/her tender.

3.0 MAINTENANCE PERIOD

The successful Tenderer shall guarantee the work for a period of one (1) year from the date of acceptance thereof from deficiencies that, in the opinion of the Engineer, were caused by faulty workmanship or materials. The successful Tenderer shall, at his/her own expense, make good and repair deficiencies and every part thereof, all to the satisfaction of the Engineer.

Should the successful Tenderer for any cause, fail to do so, then the Municipality may do so and employ such other person or persons as the Engineer may deem proper to make such repairs or do such work, and the whole costs, charges and expense so incurred may be deducted from any amount due to the Tenderer or may be collected otherwise by the Municipality from the Tenderer.

4.0 GENERAL CO-ORDINATION

The Contractor shall be responsible for the coordination between the working forces of other organizations and utility companies in connection with this work. The Contractor shall have no cause of action against the Municipality or the Engineer for delays based on the allegation that the site of the work was not made available to him by the Municipality or the Engineer by reason of the acts, omissions, misfeasance or non-feasance of other organizations or utility companies engaged in other work.

5.0 RESPONSIBILITY FOR DAMAGES TO UTILITIES

The Contractor shall note that overhead and underground utilities such as hydro, gas, telephone and water are not necessarily shown on the drawings. It is the Contractor's responsibility to contact utility companies for information regarding utilities, to exercise the necessary care in construction operations and to take other precautions to safeguard the utilities from damage. All work on or adjacent to any utility, pipeline, railway, etc., is to be carried out in accordance with the requirements of the utility, pipeline, railway, or other, as the case may be, and its specifications for such work are to be followed as if they were part of this specification. The Contractor will be liable for any damage to utilities.

6.0 CONTRACTOR'S LIABILITY

The Contractor, his/her agents and all workmen or persons under his/her control including sub-contractors, shall use due care that no person or property is injured and that no rights are infringed in the prosecution of the work. The Contractor shall be solely responsible for all damages, by whomsoever claimable, in respect to any injury to persons or property of whatever description and in respect of any infringement of any right, privilege or easement whatever, occasioned in the carrying on of the work, or by any neglect on the Contractor's part.

The Contractor, shall indemnify and hold harmless the Municipality and the Engineer, their agents and employees from and against claims, demands, losses, costs, damages, actions, suits, or proceedings arising out of or attributable to the Contractor's performance of the contract.

7.0 PROPERTY BARS AND SURVEY MONUMENTS

The Contractor shall be responsible for marking and protecting all property bars and survey monuments during construction. All missing, disturbed or damaged property bars and survey monuments shall be replaced at the Contractor's expense, by an Ontario Land Surveyor.

8.0 MAINTENANCE OF FLOW

The Contractor shall, at his/her own cost and expense, permanently provide for and maintain the flow of all drains, ditches and water courses that may be encountered during the progress of the work.

9.0 ONTARIO PROVINCIAL STANDARDS

Ontario Provincial Standard Specifications (OPSS) and Ontario Provincial Standard Drawings (OPSD) shall apply and govern at all times unless otherwise amended or extended in these Specifications or on the Drawing. Access to the electronic version of the Ontario Provincial Standards is available online through the MTO website, free of charge to all users. To access the electronic standards on the Web go to <http://www.mto.gov.on.ca/english/transrd/>. Under the title Technical Manuals is a link to the Ontario Provincial Standards. Users require Adobe Acrobat to view all pdf files.

10.0 APPROVALS, PERMITS AND NOTICES

The construction of the works and all operations connected therewith are subject to the approval, inspection, by-laws and regulations of all Municipal, Provincial, Federal and other authorities having jurisdiction in respect to any matters embraced in this Contract. The Contractor shall obtain all approvals and permits and notify the affected authorities when carrying out work in the vicinity of any public utility, power, underground cables, railways, etc.

11.0 SUBLETTING

The Contractor shall keep the work under his/her personal control, and shall not assign, transfer, or sublet any portion without first obtaining the written consent of the Municipality.

12.0 TIME OF COMPLETION

The Contractor shall complete all work on or before the date fixed at the time of tendering. The Contractor will be held liable for any damages or expenses occasioned by his/her failure to complete the work on time and for any expenses of inspection, superintending, re-tendering or re-surveying, due to their neglect or failure to carry out the work in a timely manner.

13.0 TRAFFIC CONTROL

The Contractor will be required to control vehicular and pedestrian traffic along roads at all times and shall, at his/her own expense, provide for placing and maintaining such barricades, signs, flags, lights and flag persons as may be required to ensure public safety. The Contractor will be solely responsible for controlling traffic and shall appoint a representative to maintain the signs and warning lights at night, on weekends and holidays and at all other times that work is not in progress. All traffic control during construction shall be strictly in accordance with the **Occupational Health and Safety Act** and the current version of the **Ontario Traffic Manuals**. Access to the electronic version of the **Ontario Traffic Manual** is available online through the MTO website, free of charge to all users. To access the electronic standards on the Web go to <http://www.mto.gov.on.ca/english/transrd/>, click on "Library Catalogue," under the "Title," enter "Ontario Traffic Manual" as the search. Open the applicable "Manual(s)" by choosing the "Access Key," once open look for the "Attachment," click the pdf file. Users require Adobe Acrobat to view all pdf files.

Contractors are reminded of the requirements of the Occupational Health and Safety Act pertaining to Traffic Protection Plans for workers and Traffic Control Plan for Public Safety.

14.0 SITE CLEANUP AND RESTORATION

As part of the work and upon completion, the Contractor shall remove and dispose of, off-site any loose timber, logs, stumps, large stones, rubber tires, cinder blocks or other debris from the drain bottom and from the side slopes. Where the construction works cross a lawn, the Contractor shall take extreme care to avoid damaging the lawn, shrubs and trees encountered. Upon completion of the work, the Contractor shall completely restore the area by the placement and fine grading of topsoil and seeding or sodding the area as specified by the Engineer or Drainage Superintendent.

15.0 UTILITY RELOCATION WORKS

In accordance with Section 26 of the Drainage Act, if utilities are encountered during the installation of the drainage works that conflict with the placement of the new culvert, the operating utility company shall relocate the utility at their own costs. The Contractor however will be responsible to co-ordinate these required relocations (if any) and their co-ordination work shall be considered incidental to the drainage works.

16.0 FINAL INSPECTION

All work shall be carried out to the satisfaction of the Drainage Superintendent for the Municipality, in compliance with the specifications, drawings and the Drainage Act. Upon completion of the project, the work will be inspected by the Engineer and the Drainage Superintendent.

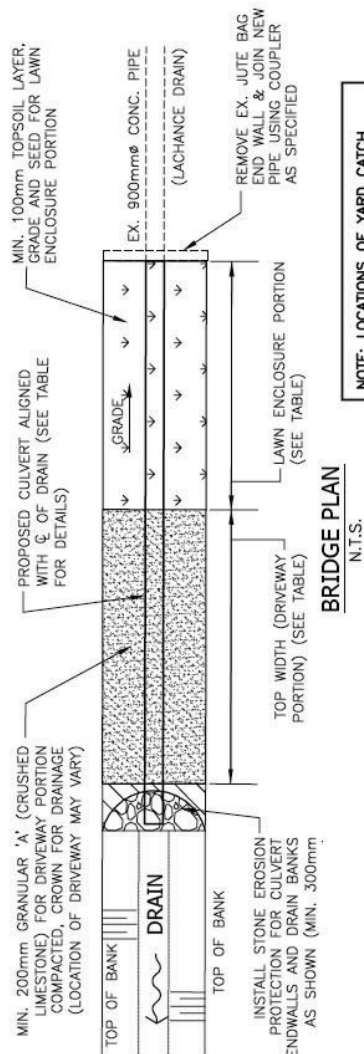
Any deficiencies noted during the final inspection shall be immediately rectified by the Contractor.

Final inspection will be made by the Engineer within 20 days after the Drainage Superintendent has received notice in writing from the Contractor that the work is completed, or as soon thereafter as weather conditions permit.

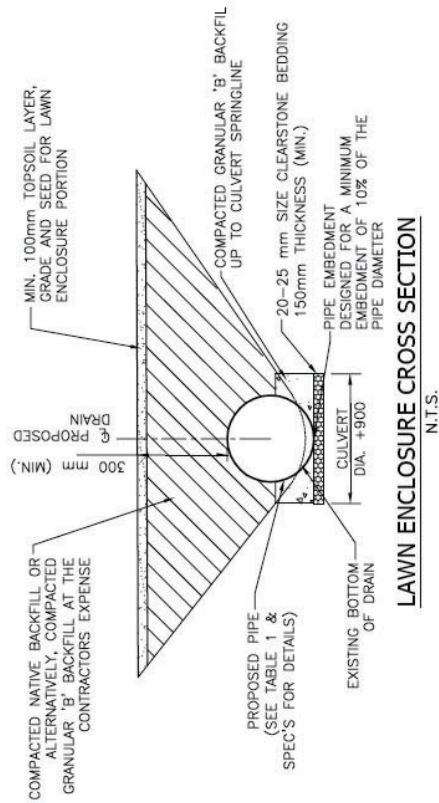
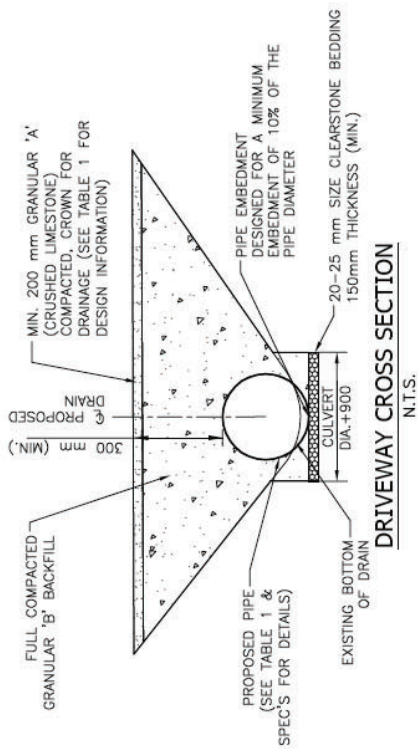
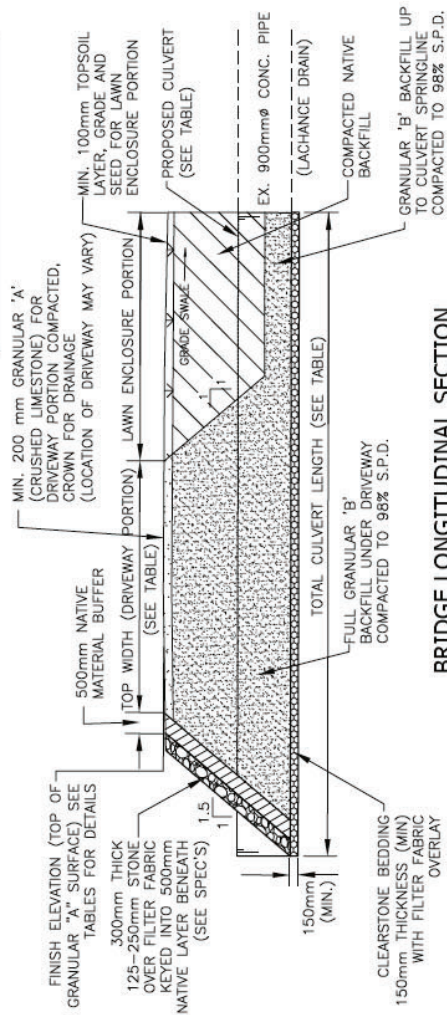
17.0 FISHERIES CONCERNS

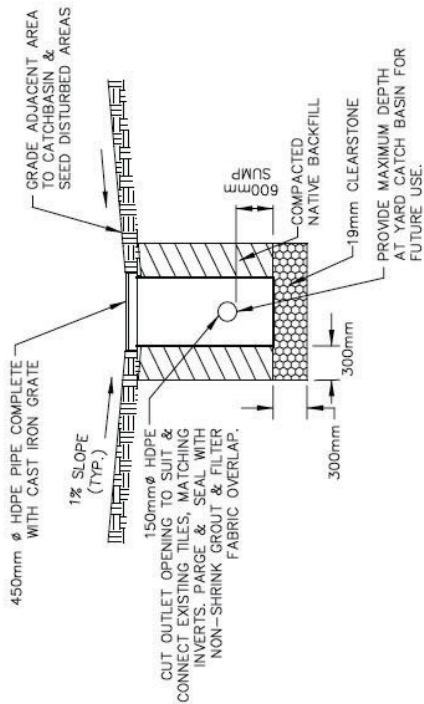
Standard practices to be followed to minimize disruption to fish habitat include embedment of the culvert a minimum 10% below grade, constructing the work 'in the dry' and cutting only trees necessary to do the work (no clear-cutting). No in-water work is to occur during the timing window unless otherwise approved by the appropriate authorities.





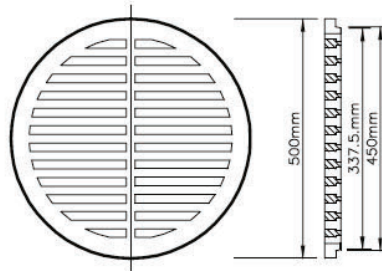
NOTE: LOCATIONS OF YARD CATCH BASINS TO BE FIELD FIT BASED ON SITE SPECIFIC GRADING AND IN CONSULTATION WITH THE HOMEOWNER. CONNECTIONS TO NEW TILE DRAIN USING A PREFABRICATED TEE.

[illegible]



YARD CATCH BASIN DETAIL
(450mm Ø HDPE)
N.T.S.

TABLE 1 - BRIDGE DESIGN INFORMATION		
DESCRIPTION	BRIDGE	
PIPE INVERT ELEV. U/S SIDE(m)	179.98	
PIPE INVERT ELEV. D/S SIDE(m)	179.95	
TOP OF 6" DRIVEWAY SURFACE ELEV. (m)	182.22	
DRAIN BOTTOM (m) (DESIGN) (AT CENTRELINE OF CULVERT)	180.04	
MIN. TOP WIDTH OF DRIVEWAY (m)	6.1	
MIN. CULVERT GRADE (%)	0.10%	
CULVERT TYPE	320KPa	
CULVERT MATERIAL	HDPE	
CULVERT LENGTH (m)	46	
PIPE SIZE (mm)	900	
CULVERT ENDWALL TYPE	SLOPING	



STANDARD CAST IRON GRATE FOR
450mm Ø HDPE CATCH BASIN
N.T.S.



Conditions of Use
Verify elevations and/or dimensions on drawing prior to use.
Report any discrepancies to Dillon Consulting Limited.
Do not scale dimensions from drawing.
Do not modify drawing, re-use it, or use it for purposes other than those intended at the time of its preparation without prior written permission from Dillon Consulting Limited.

No.	Issued For
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2	FINAL REPORT CONSIDERATION
1	CLIENT REVIEW

DATE	BY
FEB. 24/22	MDH
JAN. 19/22	MDH

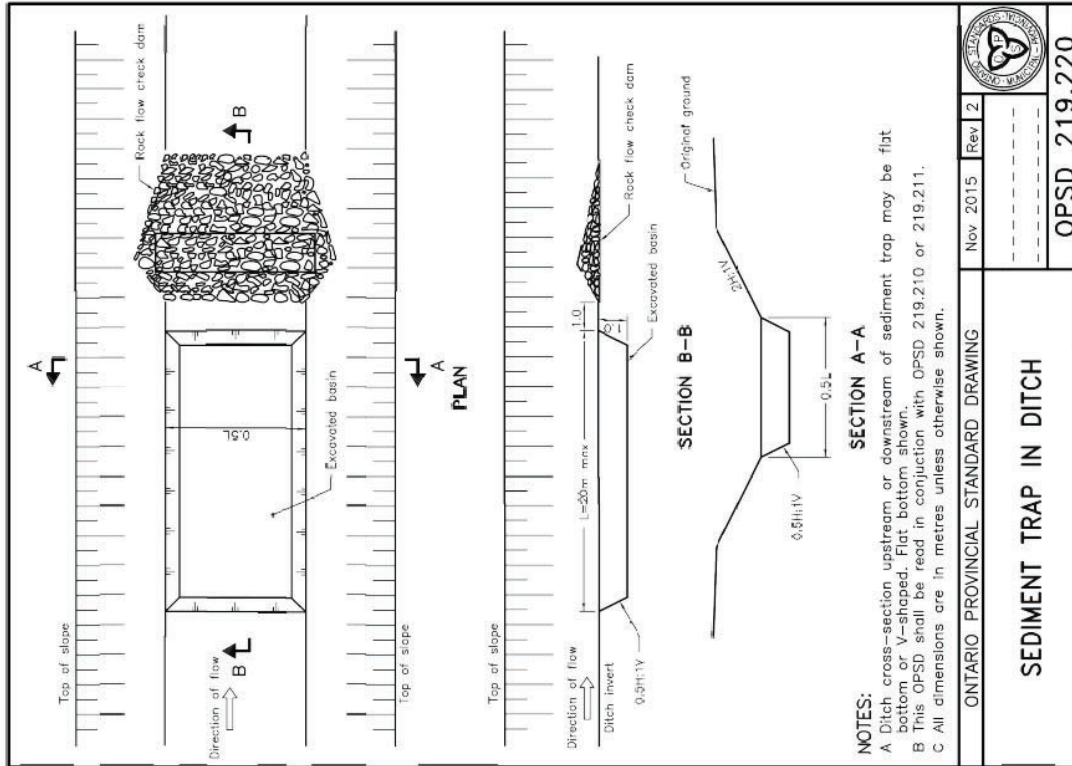
DATE	AS SHOWN
February 24, 2022	

PROJECT NO.	DRAWING SCALES BASED ON A 11' X 17' SHEET
21-2752	

SHEET TITLE	PAGE NO.
DETAILS	3 of 3

DRAINAGE REPORT FOR THE	TOWN OF
LACHANCE DRAIN (LACHANCE BRIDGE)	TEARNEIGH

SCHEDULE 'G'



ONTARIO PROVINCIAL STANDARD DRAWING

SEDIMENT TRAP IN DITCH

Nov 2015 Rev 2

OPSD 219.220

Unfinished Regular Council Business

No.	Meeting Date	Resolution	Subject	Action/Direction	Depart.	Status/Action Taken
19/18	May 22, 2018		Property Standards By-Law (Zoning)	It is directed that Administration harmonize the by-law regarding disconnected tractor-trailers on residential properties to be consistent within the Town.	DS	To be addressed in the new Comprehensive Zoning By-law commencing in 2022.
02/20	October 27, 2020	RCM 318/20	Regulations Regarding Storage and Parking of Commercial and Recreational Vehicles/Trailers in Residents' Zones	Administration to bring considerations to regulate the parking of these vehicles, units and trailers within the municipal right-of-way in the former Town of Tecumseh, to ensure that visibility sightlines are maintained to private driveways, and to recommend appropriate regulations surrounding the parking of such vehicles, units and trailers in the minimum side yard of a private property at the time the Town's zoning By-law is reviewed.	DS	To be addressed in the new Comprehensive Zoning By-law commencing in 2022.
03/20	October 27, 2020	RCM 319/20	Short Term Rentals	Administration undertake a regulatory review for both the short-term, owner-absent rental and the home-sharing short term rental categories.	DS	To be addressed in the new Comprehensive Zoning By-law commencing in 2022.
04/20	November 10, 2020	RCM 341/20	By-law to Prohibit and Regulate Public Nuisances Related to Odours and Lighting from Cannabis Cultivation	Administration to review and report back to Council on the appropriateness of a By-law in accordance with the <i>Municipal Act</i> that will address and regulate nuisances related to odour and lighting from the cultivation of cannabis plants; and investigate opportunities to consider the matter with the other municipalities in Essex County to try to seek a common regional regulatory approach.	DS	To be addressed in the new Comprehensive Zoning By-law commencing in 2022.

The Corporation of the Town of Tecumseh

By-Law Number 2022-054

Being a by-law to confirm the proceedings of the July 12, 2022 regular meeting of the Council of The Corporation of the Town of Tecumseh.

Whereas pursuant to Section 5(1) of the *Municipal Act, 2001*, S.O. 2001, c.25 as amended, the powers of a municipality shall be exercised by its Council; and

Whereas pursuant to Section 5(3) of the *Municipal Act, 2001*, S.O. 2001, c.25 as amended, a municipal power, including a municipality's capacity, rights, powers and privileges under Section 8 of the *Municipal Act, 2001*, S.O. 2001, c.25 as amended, shall be exercised by by-law unless the municipality is specifically authorized to do otherwise; and

Whereas it is deemed expedient that the proceedings of the Council of The Corporation of the Town of Tecumseh at this Session be confirmed and adopted by by-law.

Now Therefore the Council of The Corporation of The Town of Tecumseh Enacts as follows:

1. **That** the actions of the Council of The Corporation of the Town of Tecumseh in respect of all recommendations in reports and minutes of committees, all motions and resolutions and all other action passed and taken by the Council of The Corporation of the Town of Tecumseh, documents and transactions entered into during the July 12, 2022, meeting of Council, are hereby adopted and confirmed, as if the same were expressly embodied in this By-law.
2. **That** the Mayor and proper officials of The Corporation of the Town of Tecumseh are hereby authorized and directed to do all the things necessary to give effect to the action of the Council of The Corporation of the Town of Tecumseh during the said July 12, 2022, meeting referred to in paragraph 1 of this By-law.
3. **That** the Mayor and the Clerk are hereby authorized and directed to execute all documents necessary to the action taken by this Council as described in Section 1 of this By-law and to affix the Corporate Seal of The Corporation of the Town of Tecumseh to all documents referred to in said paragraph 1.

Read a first, second, third time and finally passed this 12th day of July, 2022.

Gary McNamara, Mayor

Jennifer Alexander, Acting Clerk